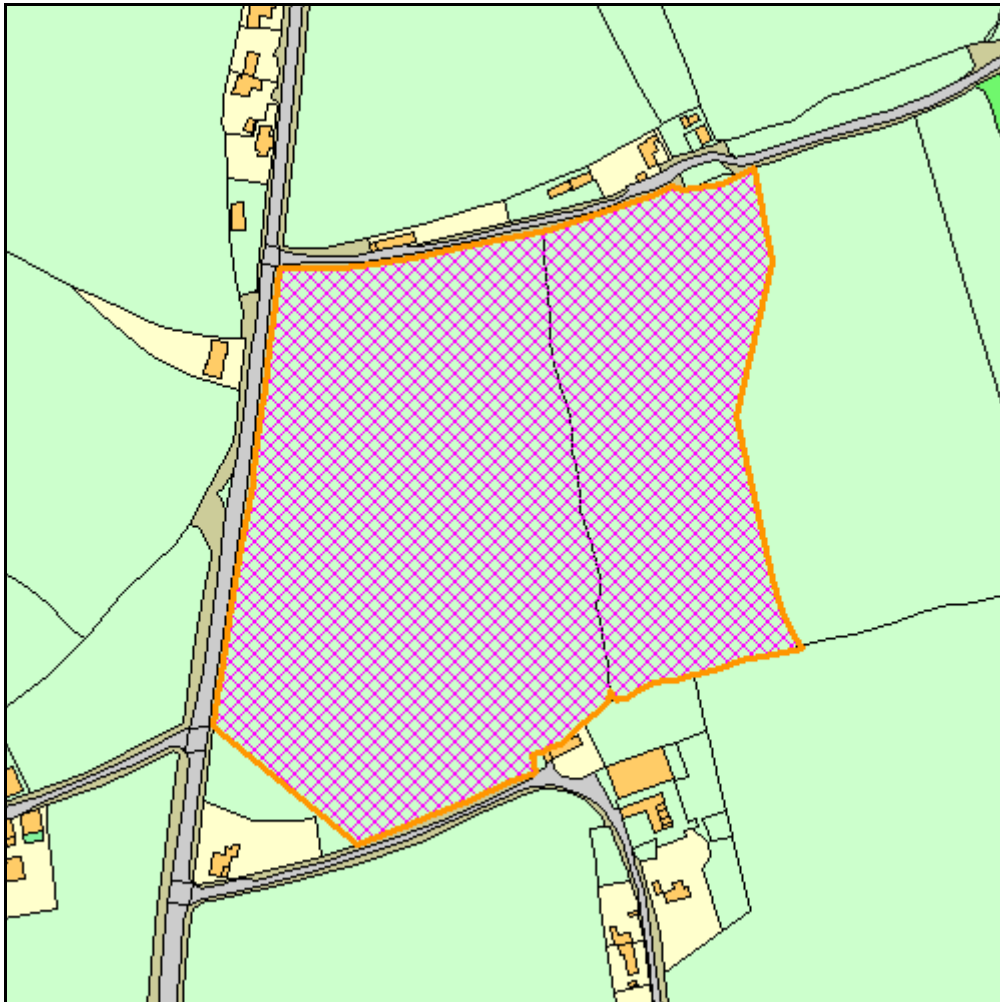


CIRCULATED SCHEDULE NO. 46/19 – 15TH NOVEMBER 2019

App No.:	P19/5258/RM	Applicant:	Linden Ltd (T/A Linden Homes Western)
Site:	Land South Of Horwood Lane Wickwar Wotton Under Edge South Gloucestershire GL12 8NY	Date Reg:	16th May 2019
Proposal:	Erection of up to 90no. dwellings with access, parking, landscaping, public open space, drainage and associated infrastructure with details of the appearance, landscaping, layout and scale (Approval of Reserved matters to be read in conjunction with planning permission PK17/4552/O).	Parish:	Wickwar Parish Council
Map Ref:	372449 187229	Ward:	Chipping Sodbury And Cotswold Edge
Application Category:	Major	Target Date:	9th August 2019



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P19/5258/RM

South Gloucestershire Councillors have five working days from date of publication to consider whether items appearing on the Circulated Schedule should be referred to the Development Management or Strategic Sites Delivery Committees for determination.

INTRODUCTION

This application has been referred to the Circulated Schedule as objections have been received that are contrary to the officer recommendation.

1. THE PROPOSAL

- 1.1 This application is for the Reserved Matters associated with outline planning permission PK17/4552/O that was granted consent on 9th November 2018. The Reserved Matters for which consent is sought are for landscaping, layout, scale and appearance (the acceptability of the principle of development and the means of access having been determined through the outline consent).
- 1.2 The development will comprise 58 units of market housing (in a mix of 3, 4 and bed houses) and 32 units of affordable housing (in a mix of 1, 2, 3 and 4 bed houses and flats/apartments). The layout submitted for consideration largely follows that submitted in indicative form at the outline stage, thus the built form is largely to the west of the site with open space, landscaping, play area and drainage attenuation to the east. A landscape buffer is shown along the southern edge of the site. The approved site access is from Sodbury Road. All existing hedgerows are kept (aside that at the approved access, a small area to the north of the site and to facilitate the access points to the multi-user link that is to run between Horwood Lane and Pincots Lane). Native hedgerow planting will take place throughout the development. The development therefore is within the parameters agreed at the outline stage.
- 1.3 The site, that is located largely between Horwood Lane to the north and Pincots lane to the south comprises 2 different sized fields of agricultural land (grassland fields) bounded by hedgerows with some trees. The western field is separated from Sodbury Road by an established hedgerow and is predominantly level, while the eastern field separated from the other by a further established hedgerow and slopes gradually. The application site lies immediately to the east of the Sodbury Road and is outside of the settlement boundary of Wickwar (which runs along Poplar Lane to the north). To the immediate north of the site between Horwood Lane and Poplar Lane consent for the erection of up to 80 dwellings was recently given (PK16/4006/O/PK17/5966/RM) and construction of the development is currently underway by Bellway Homes UK.
- 1.4 In support of the application alongside the plans are a Design Compliance Statement, Arboricultural Report, Noise Impact Assessment and Public Art Commissioning Plan.
- 1.5 For information, applications have been submitted and approved for the discharge of a number of conditions that were applied to the outline consent (see Section 3 below).
- 1.6 As part of the outline consent, the applicant signed a Section 106 legal agreement to secure off-site highway works, a travel plan, a financial contribution towards school travel (secondary school), provision of open space and its maintenance. The applicant also signed a legal agreement to provide affordable housing on site at a rate of 35%

which equates to 32 units (73% for Social Rent and 27% for immediate housing – shared ownership).

- 1.7 Significant negotiations have taken place during the course of dealing with the application to secure a number of improvements to the development in a number of areas as discussed in the report below.

2. POLICY CONTEXT

2.1 National Guidance

National Planning Policy Framework (NPPF) February 2019
National Planning Policy guidance (NPPG) 2014

2.2 Development Plans

South Gloucestershire Local Plan Core Strategy (Adopted) December 2013

CS1	High Quality Design
CS2	Green Infrastructure
CS5	Location of Development
CS6	Infrastructure and developer contributions
CS7	Strategic Transport Infrastructure
CS9	Heritage and the natural environment
CS16	Housing Density
CS17	Housing Diversity
CS18	Affordable Housing
CS20	Extra Care Housing
CS23	Community Infrastructure and Cultural Activity
CS24	Sport and recreation standards
CS34	Rural Areas

South Gloucestershire Local Plan: Policies, Sites & Places Plan November 2017

PSP1	Local Distinctiveness
PSP2	Landscape
PSP3	Trees and Woodland
PSP6	Onsite Renewable and Low Carbon Energy
PSP8	Residential Amenity
PSP10	Development Related Transport Impact Management
PSP16	Parking Standards
PSP17	Heritage Assets and the Historic Environment
PSP19	Wider Diversity
PSP20	Flood Risk, Surface Water and Watercourse Management
PSP21	Environmental Pollution and Impacts
PSP41	Private Amenity Space Standards

2.3 Supplementary Planning Guidance

Residential Parking Standards SPD (Adopted 2013)
Affordable Housing and Extra Care Housing SPD (Adopted May 2014)

South Gloucestershire Biodiversity Action Plan (Adopted)
The South Gloucestershire Design Check List SPD (Adopted August 2007)
Trees on Development Sites SPD Adopted Nov. 2005
Waste Collection Guidance for new developments January 2015 SPD
South Gloucestershire Landscape Character Assessment (adopted Nov 2014)
Wickwar Ridge and Vale LCA 5
South Gloucestershire Landscape Character Assessment (adopted Nov 2014)
Cotswold Scarp LCA 4
South Gloucestershire Council Community Infrastructure Levy (Cil) and Section
106 Planning Obligations Guide SPD (Adopted March 2015)

Other documents

Wickwar Village Plan 2005

3. RELEVANT PLANNING HISTORY

3.1 The Application Site

DOC/1900234 Discharge of conditions 7 (Construction method statement) , 8 (Construction Environmental Management Plan) and 12 (Contamination) attached to planning permission PK17/4552/O. Erection of up to 90 residential dwellings with public open space, landscaping, sustainable drainage system and vehicular access from Sodbury Road (Outline) with access to be determined. All other matters reserved. Conditions discharged 22nd August 2019

DOC19/00302 Discharge of condition 8 (Construction Environmental Management Plan – Revised) attached to planning permission PK17/4552/O. Erection of up to 90 residential dwellings with public open space, landscaping, sustainable drainage system and vehicular access from Sodbury Road (Outline) with access to be determined. All other matters reserved. Condition discharged 4th October 2019

PK17/4552/O Erection of up to 90 residential dwellings with public open space, landscaping, sustainable drainage system and vehicular access from Sodbury Road (Outline) with access to be determined. All other matters reserved (Approved subject to conditions and S106 agreement at the Development Control East Committee 3rd May 2018). Decision issued 9th November 2018.

The adjoining site to the North

PK16/4006/O Outline planning permission for up to 80 residential dwellings (including up to 35% affordable housing), landscaping, informal public open space, children's play area, new access and associated works with access to be determined. All other matters reserved. (Approved with conditions May 2017)

PK17/5966/RM Erection of 80 dwellings with associated landscaping, including wetlands, drainage, pedestrian and vehicle links, open space including play areas, allotments and other associated infrastructure. (reserved matters to be read in conjunction with PK16/4006/O). Approved with conditions 29th June 2018.

PK18/0253/F Formation of a drainage swale associated with the disposal of surface water from the adjacent residential development site (pending consideration)

4.0 **CONSULTATION RESPONSES**

The proposed development has been the subject of two full consultations, the second following the negotiation of revisions to the scheme. For clarity initial comments and follow-up comments are set out below.

4.1 **Wickwar Parish Council**

Comments neither supporting or objecting to the development.

Wickwar Parish Council is concerned that there will be an accident risk from vehicles heading north, turning into the development. Wickwar Parish Council is also concerned about the safety of pedestrians and cyclists crossing from the footpath to Frith Lane on the opposite side of the road. A safe crossing point to Frith Lane is essential.

Following the submission of revised details the following comments have been received:

Wickwar Parish Council remains concerned about the safety of pedestrians and cyclists crossing from the footpath, to Frith Lane on the opposite side of the road. The revised plans do not yet address this. Parishioners are expecting a safe footpath to Frith Lane, and this has been something which has been requested from South Gloucestershire Highways for a number of years. A safe crossing point to Frith Lane is essential in order to deliver this. The route along the Sodbury Road towards Frith Lane is well used by pedestrians, cyclists and horse riders. The safety audit of the crossing point must take account of the increase in traffic along the Sodbury Road, which will result from developments in the north of Yate and on the edge of Wickwar. The Parish Council requests that the footpath also be made accessible to horse riders as this is a route well used by them.

4.2 **Other Consultations**

Housing Enabling (summary)

Initial Comments

Objection: Whilst the applicant has indicated that 35% (32) of the total dwellings will be provided as affordable housing they have not provided detail regarding which units will be for social rent and which for shared ownership and therefore a full assessment of the proposal cannot be made. Enabling request that the applicant provide full details showing the appropriate tenure of the affordable units in order for further comments to be made.

Following the submission of amended details, the Housing Enabling Team confirm that the quantum and tenure/type of affordable dwellings is in accord with the S106. The RP Design brief is also acceptable. There is still an objection as the proposal does not comply with the S106/Policy in terms of clustering.

Following the submission of further details, it is noted that plots 76 –80 with plots 81 and 82 result in a cluster of 7 units however given the house types and the fact that the units have separate frontage - I can confirm that enabling are happy to accept this. The plans have been revised since our last comments of 16th September and now show private amenity space for plot 55 as requested. The applicant has confirmed that the wheelchair units will be built to the South Gloucestershire's wheelchair accommodation standard wheelchair accommodation.

In summary no objection is raised, the proposal in accord with the S106/policy.

Environmental Protection

Noise (Condition 17 – Outline Consent)

I have reviewed the Noise Impact Assessment prepared by Clarke Saunders Acoustics, dated 23rd April 2019 and also the Planning Layout plan which shows the position of the close boarded fencing. The report considers noise from Sodbury Road and has produced a colour coded plan to show the plots that require façade mitigation. The planning layout also shows the position of the close boarded fencing which will protect external amenity areas from noise from Sodbury Road.

Provided the development is undertaken in accordance with Clarke Saunders recommendations, I am satisfied that the requirements of condition 17 have been met.

Contamination (Condition 12 – Outline Consent)

WRS have reviewed the following report in support of the above planning application:

RSK, Geotechnical and Geo-environmental site assessment, Ref: 314126-R01 (00), Dated August 2018

The report is considered to be comprehensive and there are no adverse comments. Based on the current proposals it is recommended that parts A and B of condition 12 can be discharged.

It should be noted that if the development proposal were to change to include a more sensitive use than the currently proposed Public Open Space within the Eastern Field (ie. Residential use with gardens), the risk assessment must be revisited and it is likely that remediation measures would be required.

Air Quality

The principle of this development was given approval under outline planning permission (Ref: PK17/4552/O) and the impact on air quality was considered at that stage. I have no further comments in relation to the reserved matters application

currently under consideration, but for completeness, have included a summary of the comments made in relation to air quality at the outline stage, which I have updated in respect of references to the Council air quality monitoring results in Wickwar.

The Air Quality Assessment prepared by Wardell Armstrong, dated September 2017 considered the potential impacts on local air quality during the construction and operational phases of the development and considers the relevant pollutants; nitrogen dioxide (NO₂) and fine particulate matter (PM₁₀). There were some shortcomings with the assessment, however, these were considered unlikely to affect the overall conclusions of the assessment.

The assessment concluded that the impacts on annual mean NO₂, PM₁₀ and PM_{2.5} concentrations at the existing and future receptor locations assessed are predicted to be negligible with concentrations remaining below the relevant objectives, both with and without the development in place in the proposed opening year (2022).

The results of SGC air quality monitoring at a worse case location in Wickwar High Street show nitrogen dioxide levels are well below the relevant objectives. Based on this, the development would not be considered likely to result in exceedances of the relevant air quality objectives at this worse case location. The 2017 monitoring data is available in the 2018 Air Quality Annual Status Report which can be found on the council website. The provisional result for the monitoring in 2018 shows the nitrogen dioxide levels to be slightly lower than in 2017. The finalised 2018 data will be available in the 2019 Air Quality Annual Status Report due later this year which will be published on the webpage above.

Conditions were applied to the approval granted for the outline application PK17/4552/O to reduce emissions and contribute to better air quality management, and will need to be discharged in due course. These conditions included:

- Where on-site parking is provided for residential dwellings, Electric Vehicle (EV) charging points for each parking space should be provided.
- All gas fired boilers to meet a minimum standard of <40mgNO_x/kWh.
- Measures to mitigate the risk of dust emissions during the construction phase to be incorporated be incorporated into a Dust Management Plan (DMP), which can be integrated into a Construction Environmental Management Plan (CEMP). The DMP/CEMP should be submitted in writing to, and approved by, the Council prior to the commencement of any construction works. This is to reduce the potential impacts from dust emissions on nearby sensitive receptors.

Waste Engineer

Initial Comments

Please can you track the site using the refuse vehicle dimensions provided in the Councils waste supplementary planning document? Can you please also review the presentation point for waste containers for properties 23, 24 & 25 and also properties 21 & 22 as I have concerns over the distance containers will have to be carried or

wheeled to and from the collection vehicle from the adopted highway from these presentation points.

The Sustainable Transport Team have viewed the resubmitted details and consider that the proposal is fully acceptable having regard to the Waste Collection Guidance for new developments January 2015 SPD

Heritage Officer

No objection – defer to the Urban Design Officer in respect of the design and layout proposals and the palette of materials being introduced.

No further comment for the revised proposals

Avon and Somerset Police

Paragraphs 91, 95 and 127 of the National Planning Policy Framework July 2018 require crime and disorder and fear of crime to be considered in the design stage of a development. Other paragraphs such as 8, 104, 106, 110, 117, and 127 also require the creation of safe environments within the context of the appropriate section.

Having viewed the information as submitted we find the design to be in order and complies appropriately with the crime prevention through environmental design principles.

Sustainable Transport Team

Initial Comments (summary)

Additional Information/amendments required on the following:

- Full details of the visibility splays from the site access and for the footway/cycleway connection as well as for the pedestrian crossing point opposite Frith Lane
- Radii either side of the site access junction and auto-track to show that vehicles can pass at the entrance
- Details of crossing point for pedestrians and cyclists opp Frith Lane
- Details of poss footway north of Frith Lane junction to avoid pedestrians walking on a grass verge
- Visitor parking arrangements needed for this development. This needs to be spread across the whole development (could be located also along the shared road serving plots 15-20)
- Block paving not recommended on tight bends and hammerheads at locations within the site although block paving is recommended on straight sections of the road
- Correct auto-track needs to be completed for refuse vehicles
- Electrical vehicle charging sockets should be provided for all houses

- 2 no. parking spaces needed at Plot 3 excluding the garage. In addition garages (single must be 6m by 3m)

Following the submission of amended details there is no objection to the development on highways grounds.

The Sustainable Transport Team have considered the concern raised by the Parish Council relating to the requirement for a crossing to link the development to Frith Lane and advised the Case Officer accordingly (please see the Transportation below)

Ecologist

I have no major concerns relating to the landscape design or species composition at present. The important information will be provided in the Landscape and Ecological Management Plan (LEMP) relative to Condition 11 of PK17/4552/O.

No objection to the revised proposals

Environmental Policy (Summary)

Initial Comments

The energy strategy presented follows the policy approach of reducing energy demand through building fabric and energy efficiency measures, followed by the inclusion of on-site renewable energy generation. This is welcomed.

- *Fabric Energy Efficiency* - The proposal adopts an airtightness standard of $5\text{m}^3/\text{h.m}^2$ @50 Pa, which is significantly better than the limiting value of $10\text{m}^3/\text{h.m}^2$ at 50Pa set in Building Regulations. A condition is recommended to require post construction certification to show that the air-tightness standard is achieved in practice
- *Overheating* - The Energy Statement includes references to overheating but no details have been submitted of thermal modelling. The finding should be used to inform the detailed design.
- *Solar PV* - The applicant proposes the use of Solar PV to meet the 20% reduction in emissions required by Policy PSP6. However further information is required to show that these measures are accurate. Plans are needed to show the distribution of the solar panels rather than a generic description; the annual yield of energy used in the calculations is needed; the shading factor should be used in the calculations to show the true yield
- *Heat Pumps* – Air/Ground Source Heat Pumps should be considered. There is disagreement with the applicant that their use could lead to an increase in CO₂ emissions over gas boilers. They can work well in association with solar power. Moving away from traditional gas heating systems is essential to help meet carbon emissions reduction targets as set out in the South Gloucestershire Climate Change Strategy (Adopted 2018). This should be considered

- *Carbon Emissions Calculations* – These should be more detailed given that at the reserved matters stage actual house types are now known
- *Post Construction Evidence* - In order to demonstrate that the proposed energy standards set out in the Energy statement have been met in practice, and that consequently, the correct amount of Solar PV has been installed to reduce residual carbon emissions by at least 20%, post construction evidence will need to be provided.

Following the submission of a revised Energy Statement, no objection is raised subject to a condition being applied to secure the agreed measures.

Lead Local Flood Authority Drainage Engineer

Initial Comments for Surface Water Strategy (summary)

- Sections through pervious paving required
- Confirmation as to whether proposed basin is to be lined is required
- Section through basin is required
- Drawing needed to show strip around detention basin and unimpeded access to be demonstrated
- Annotation of basin plan needed and cross section
- Ground raising details questioned for watercourse as well as drainage network details
- Detailed Suds plan required for the site that clearly states responsibility for various components and maintenance activities inc during construction
- Responsibility information for ordinary watercourse for Suds required
- Assessment of this watercourse is also required

Following the submission of revised details, the following comments have been received:

We are now satisfied with the information that has been submitted and are in acceptance of the proposed surface water drainage strategy for the site. Providing the development is constructed in accordance with the approved plans and supporting documents, which are acceptable to the LLFA, we have *No Objection* to this application.

Public Rights of Way Team

Initial Comments

The proposed development affects Public Footpaths LWR 22 & LWR 21A

In the Section 106 agreement for this site is the requirement for a multiuser route to be included, this is shown on the current planning layout but there must be a link to Pincots Lane in the site to ensure it has proper connectivity. The S106 also includes contribution towards diversion of the northern end of LWR 21A to ensure continuity with the footpath to the north and contribution towards the diversion of LWR 22 to the south as it is currently shown through the curtilage of Pincots cottage.

Therefore I require an amended plan to show:

The Multi user link extra link to the south to Pincots Lane; the proposed change of route of LWR 22 to accommodate the diversion and the amended route of LWR 21A to the north. I have also been asked to seek a diversion of LWR 21a to the immediate south of the site so this will be included in the Highways Act 1980 diversion for the site. There is also an amount in the S106 to improve the path furniture, we will provide any new path furniture required to accessibility BS standards for all the entry and exit points to the site (3 no) to comply with the latest requirements. I request that the surface treatment of the public rights of way through the site are agreed with PROW prior to any permission being granted.

Following the submission of revised details, the following comment has been received:

The proposed development will affect the public footpaths LWR/22 and LWR/21A and are shown on the landscape plans. I am generally happy with the proposed minor diversions as shown which will reflect the available routes and will be included in the S106 Highways Act diversion proposals. There is one omission which is that clear signage is required for the path LWR/22 where it cuts through the landscape strip from Sodbury Road to Horwood Lane. Please supply detail of the signage style and locations for this path and its neighbour (LWR/21A) to ensure that the public and local residents are completely clear where the footpath runs. As a standard we would expect signage that was clear (not worded but icon based) and with destination at each end. Footpath way marking is generally in yellow.

The surface of the multi user path has to be suitable for pedestrians, horse riders and cyclists therefore has to have a high psv value. For this reason can I request a condition that materials for the multi-user path must be agreed prior to the installation and must be suitable for all users.

Archaeologist

No comment

Tree Officer

The trees are adequately protected in accordance with BS:5837:2012 therefore there are no objections to discharge of conditions.

Urban Design Officer

Initial Comments (Summary)

Rear parking courts – The two areas to the rear of No.76 to 79 and 60 to 63 should be relocated to the front of properties for security reasons – need for ownership, security etc.

Boundary treatments – Boundary treatments that define the public realm should be solid either brick, stone, render, not timber. Garden boundaries are largely timber post and panel fences which have long term maintenance issues

Access through open spaces – paths should be of appropriate surfaces in order to be accessible for all members of the community (safe and convenient).

There needs to be appropriate planting in parking areas

The house types need to be reflective of the rural character – a condition needs to be secured to require the submission of physical samples with only the use of high quality and contextual materials being accepted.

The Design Officer has reviewed the last submission which has been the subject of intensive negotiation and states:

Given the recent changes I would not now object to the development but should reiterate that the quality of the building and public realm materials is a key challenge for the discharge of conditions stage.

Wessex Water

No objection

Information submitted shows that a point of connection can be agreed to the public sewer in Sodbury Road, capacity is available for foul flows within the local foul network to accommodate the proposed flows from the development. The applicant is advised to discuss the detail with Wessex Water.

Landscape Officer (summary)

Initial Comments (summary)

The width of the landscape buffer on the western side of the site has been substantially reduced from that shown on the indicative layout submitted with the outline application (meant to be up to 17 metres but down to 4 metres in places). On the southern elevation the buffer is reduced from 37 metres to 27 metres and further at the southern point.

The treatment of the diagonal route is also unacceptable. Various issues of concern:

- Pinched in places esp by parking at the north-west end
- Close board fences as garden boundaries with corridor not appropriate, native hedging and natural stone walls more suitable
- Refuse point should not be located in the corridor
- Trees too utilitarian, street trees. Should be naturally formed and native

Better consideration of the play area is needed – location too random

Better consideration of the allotment area needed. Is squashed but contributes with parking spaces/hard landscaping to the squeezing of the southern buffer. Both the allotments and the play area would be better located in the eastern area.

Attenuation pond appears well designed but cross-sections needed

Others concerns/comments:-

Treatment of back gardens in terms of planting; opportunity for community orchard; DAS indicated inclusion of various SuDS elements (rainwater harvesting, basins and swales, should be integral part of landscape design)

More robust landscaping structure is required. Less suburban approach needed with the use of more native species and less ornamental front hedges. More natural appearance required. Greater use of natural stone walls needed, too much utilitarian fencing shown, hedging around parking areas, conservation road kerbs.

Following extensive negotiations improvements to the scheme and while there are some remaining issues no objection is raised.

Public Open Space Officer

Initial Comments (summary- full details are on the public website labelled “initial comments)

A number of detailed concerns raised relating:

- Public Open Space plan requires amendments. Discussion over what areas to be adopted
- The Green Corridor has variable width and is of poor design
- Boundaries landscape buffers not compliant with the Development Plan framework
- The LEAP needs to cater for a wider age range esp at older age and entrances need to be at either side. Would allow access to the wider POS to the north. Needs to be better shaped. Better signage and play equipment. Better surfacing. Differences between drainage and landscaping plans needed. Possible conflicts between easements and foundations of play area.
- The expected amount of woodland not being provided. The attenuation area is significantly larger than previously shown. Greater care is needed in terms of the size and species of trees being provided. Landscape specification is missing as is detail of the boundary treatment with the agricultural land. Path materials should be appropriate for all. Seating needed
- Plant specification details are needed. Fencing details needed around the pumping station
- A separate application will needed for the outfall from the pond
- Improvements are needed to the tree pit arrangements
- Greater information is required in relation to the allotments – sheds, fencing. It is essential that the external works plan coincides with the landscape plan
- Clarity is needed over whether the multi-user path is to be adopted or included in the public open space.

The Public Open Space has viewed the most recent submission and commented. No objection is raised

Arts and Development Officer

Initial Comments (summary)

Relevant planning condition: The reserved matters details referred to in condition 1 shall include full details for a unique site specific integrated public art scheme including but not limited to detailed designs, timescales and triggers. For the avoidance of doubt the submission shall be prepared in line with recommendations in the Council's Art and Design in the Public Realm - Planning Advice Note

Principles of the submission accepted but not advanced enough and lacking in scope and vision. Reasonable budget not allocated to secure a quality scheme (expected to be around 50K) of scale and ambition. I would recommend that the developers engage with us and revise and resubmit the plan.

Following further engagement including the addition of an appropriate timetable for the implementation of a scheme there is no objection.

4.3 Other Representations

Local Residents

Proposal as originally submitted

There have been 16 letters of objection received in response to the original proposals. The grounds of objection can be summarised as follows:

- Lack of facilities in Wickwar resulting in an increased need to travel by car
- Increase in traffic where poor footpaths and need for more road repairs
- Poor conditions locally for pedestrians
- Development not suitable for first time buyers
- Development will take place over the water supply
- The development represents developers "greed" and is not needed
- The development is closer to Pincots lane than on the outline consent
- Not appropriate in times when there is a climate emergency also no solar panels
- Surrounding roads overloaded with traffic and limited public transport
- Safety for children waiting for buses
- Concern over destruction of environment and future maintenance of the open space
- Concerns that the proposal will be detrimental to air quality particularly from additional road traffic
- Development should be smaller, more select and upmarket
- Permission should be withheld pending the occupation of the first development to see how the area copes with the additional traffic

One letter of support has been received stating the proposal will bring new families to the village who will support the village community and local facilities.

Councillor Patricia Trull (Ward Councillor) has commented as follows:

Environmental concerns.

South Glos Council endorse their climate change strategy. Protecting and enhancing the environment for future generations. Renewable energy target of 25% of local energy demand by 2036. So why are we still allowing thousands of houses to be built including Wickwar without solar panels fitted as standard? Cavity wall and loft insulation to the very best and not the minimums standard? Triple glazed high standard windows fitted. We all care about the future of this planet and that must include our Local Authority so why don't they insist on these must have simple environmental measures? We have a climate emergency, we are encouraged to use less but we will of course use more due to the lack of foresight and future planning.

Building 4/5 bed houses does very little to alleviate the housing crisis in the UK. When we need 1/2/3 bed houses at affordable rents and affordable prices.

Travel sustainability.

South Glos Council bases its assessment of car/vehicle movements per household as 8 per day. Based on 90 houses that would be 720 extra vehicles on the Sodbury Road per day. (To include the 80 houses on the adjacent field that would be 1360 extra vehicle movements). To include the very high percentage of cars from the Yate/Chipping Sodbury area and also travelling in the opposite direction from the Charfield, Kingswood area, the road system will be beyond capacity. We have queues of traffic at peak times and this will be set to increase. Air pollution should be continually monitored on the Wickwar Roads, if you want children to have an outdoor active life you will have to save their lungs.

Buses every 90 minutes at not so convenient times will very little to keep people from using their cars. Wickwar does not have a convenience store or a post office, thus the nearest shops are in Yate. You would have to use the car for the simplest of journeys. Thus creating pollution. There are no safe cycle routes along the Sodbury/Wickwar Road. Due to the high speeds and high accident rates along this road towards Yate/Chipping Sodbury its not a particularly safe route and certainly not encouraging sustainable transport. Travel plan submitted by applicant was considered weak and unsustainable and therefore was refused. So what has changed? What has been improved upon? Nothing in this application enhances or improves Wickwar. Not even the design which is severely lacking in environmental and transport factors.

Proposal as Revised

Following the submission of revised details and subsequent re-consultation, there have been 2 letters of objection. The grounds of objection can be summarised as follows:

- The development will add to the existing serious congestion
- The development will be result in an increase in air borne pollution to the detriment of health.

5.0 **ANALYSIS OF PROPOSAL**

5.1 **Principle of Development**

The proposal is for the erection of 90 residential dwellings (of which it is agreed that 35% shall be of affordable housing), with associated access, parking, hard/soft landscape works, public open space/children's play area and allotments.

The application is the Reserved Matters application that follows the approval of outline consent PK17/4552/O (as set out in Section 3 above) and landscaping, scale, appearance and layout are the material considerations.

The site area is identical to that approved in the outline consent and the scale parameters are as per that consent. While concerns raised in relation to the location of the development in relation to services and facilities and the impact upon the surrounding road network are noted, these were issues that were considered in the planning balance that was applied at consideration of the outline consent and on

The principle of development (along with the position of the access) is therefore acceptable having been established through the outline consent. The remainder of this report will consider in detail the outstanding material planning considerations.

5.2 **Environmental Protection**

Policy CS9 indicates that new development will be expected to protect land, people and buildings from pollution and also to promote the re-use of contaminated land with appropriate remediation. PSP21 sets out the requirement for new development to take into account potential impact by way of pollution with specific reference to noise, air quality and contaminated land.

As these matters relate to the principle of whether development upon this site is appropriate relevant conditions were attached to the outline application and thus form part of the consent.

Land Contamination

Given the historical use of the land for agricultural purposes a condition (condition 12) was attached to the outline consent requiring that prior to the commencement of development a detailed site investigation is undertaken to confirm whether contamination is present and then if that is the case the appropriate mitigation is undertaken. The condition also requires immediate action/remediation in the event of contamination being found once work has commenced.

Information has been submitted with the application and viewed by the Environmental Health Team. It is considered that the information supplied is sufficient to discharge condition 12. It is important to note that the condition also requires that if unexpected contamination is found after the development is begun, then the development will immediately cease upon the part of the site affected. The applicant is then required to inform the Local Planning Authority immediately in writing. A further investigation and risk assessment will then be required to be undertaken and then where necessary an additional remediation scheme prepared. Those findings and report will then have to be

submitted and agreed in writing with the Local Planning Authority prior to works recommencing, with all the subsequent works on the affected area being implemented in accordance with the mitigation measures agreed.

Noise

With respect to the impact upon the development from existing noise sources, a condition was attached to the outline consent (Condition 17) requiring the submission of a scheme for the protection of the dwelling from road traffic noise and requiring the approved scheme to be completed prior to the completion of each dwelling. The condition required internal noise levels as follows: Living rooms 35dB LAeq 16-hour (0700 to 2300); Bedrooms 30dB LAeq 8-hour (2300 to 0700). In addition it was a requirement that general daytime noise level in rear gardens should not exceed 55dB LAeq 16-hour (0700 to 2300).

A detailed scheme recording noise levels and making appropriate recommendations has been submitted with the application in order to discharge condition 17. This scheme has been viewed by the Environmental Protection Team and is considered acceptable. A condition is recommended to be attached to the decision notice to ensure that all works take place in accord with the approved details.

Air Quality

Concerns have been raised that the proposed development will result in a deterioration of air quality at the site and its surroundings. It is important to note that the impact of the proposal was considered at the outline application stage when considering whether a development of this scale and type was appropriate in this location in principle, for completeness and clarity however the comments of specialist officers have been re-sought and these include reference to monitoring that has been undertaken since the outline application was considered.

In summary the Council Environmental Protection Team viewed a detailed air quality assessment report submitted for the outline consent (received Sept 2017). That report considered the potential impacts on local air quality both during the construction and post-construction/operational phase of the development and concluded that concentrations of the relevant pollutants at receptor sites would be negligible both with and without the development and would be below the objective levels.

Further to these findings it should be noted that South Gloucestershire Council has undertaken air quality monitoring in Wickwar High Street (considered to be the worse-case location) in both 2017 and 2018. Officers advise that the 2017 nitrogen dioxide levels here are well below the relevant objectives and thus this development would not be considered likely to result in exceedances of the relevant air quality objectives at this worse case location. The provisional results of the 2018 monitoring (which will be published in the SGC Air Quality Status Report 2019) shows that nitrogen dioxide levels are slightly lower than 2017.

It is also important to note that all residential properties on the site are to be provided with on-site electric vehicle charging points, all the boilers on the site are restricted by Condition 19 on the outline consent to a minimum standard of <40mgNO_x/kWh. Also

during construction the site is subject to the provisions of a Construction Environmental Management Plan which includes a Dust Management Plan,

In summary the proposed development is considered acceptable in terms of the impact upon air quality and to be in accord with the aims and objectives of Policy CS9 of the Core Strategy and PSP21 of the Policies, Sites and Places Plan.

5.3 **Ecology**

The National Planning Policy Framework (Section 15) indicates that the planning system should contribute to and enhance the natural and local environment primarily through minimising impacts on biodiversity and providing net gains in biodiversity where possible (para 170). Core Strategy Policy CS9 and PSP19 also require that new development shall conserve and enhance the natural environment, avoiding or minimising impacts on biodiversity.

The impact upon the ecology of the site and the wider locality was considered in detail at the outline application stage and a detailed Ecological Appraisal has been submitted. The site comprises intensive agricultural fields and is not covered by any statutory or non-statutory nature conservation designations. Bishops Hill Wood – designated as a Site of Special Scientific Interest (SSSI) and Site of Nature Conservation Interest (SNCI) for its calcareous grassland and broadleaved woodland – and the Little Avon River and Tributary SNCI – designated for its open flowing water and bankside vegetation – lie to the southeast and east of the application site respectively although neither will be directly affected by the development.

It was considered that on balance at the outline stage that while some hedgerow would be lost as part of the development at the access, that the provision of significant areas of public open space comprising a mixture of (species-rich) grassland, tree/shrub planting and allotments will have a benefit to local biodiversity and thus this enhancement outweighed any loss.

The details submitted at the reserved matters stage are in accordance with the objectives set out at the outline stage. Details have been submitted separately to this application to discharge condition 8 (Construction Environmental Management Plan) setting out mitigation details on birds, great crested newt, reptiles, dormice and badger, and pollution prevention measures (See planning history above DOC19/00302). A small area of additional hedge loss will occur, at the northern end of the site at the entrance to Horwood Lane, this will allow appropriate visibility to and from the multi-user link. This is deemed acceptable and an ecologist will be present to ensure no damage to dormice during the works which have already commenced at the time that this report is being written.

An additional condition attached to the outline consent will be required to be discharged prior to the first occupation of the development (Condition 9), this requires details of the location, number and type of habitat boxes for birds (including house sparrow and swift), bats and dormice is required with the approved details being carried out.

In addition a condition (Condition 10) requires a scheme for external lighting to be submitted prior to its installation. The submitted plan has been viewed by the Council Ecologist and agreed.

Lastly prior to the first occupation of the development a detailed landscape and ecological management plan is required to include details of the legal and funding mechanisms by which the long term implementation of the plan will be secured by the developer (Condition 11).

As the layout follows the principles established at the outline stage and subject to the above conditions it is considered that the proposal is acceptable in ecological terms.

5.4 **Impact Upon Trees**

Policy CS1, CS2 and Policy CS9 of the Core Strategy indicate that development must safeguard, conserve and enhance existing features of the landscape. The site is covered by a tree preservation order.

With respect to existing trees a condition was attached to the outline consent as follows:

The landscaping details submitted pursuant to condition 1 shall include the submission of an Arboricultural Implications Assessment, Arboricultural Method Statement and a Tree Protection Plan for approval. The development shall be carried out in accordance with the approved details.

This information has been submitted with the application and has now been assessed by the Tree Officer. The details submitted are considered acceptable and a condition will be attached to the decision notice to ensure that all works take place in accord with these details in respect of tree protection.

5.5 **Heritage Issues**

The NPPF promotes the conservation and enhancement of heritage assets. The Historic Environment is recognised as an essential tool in helping to deliver the social economic and environmental benefits that attract people to live and work in the district. Policy CS9 seeks to ensure that new development conserves, and enhances heritage assets in a manner appropriate to their significance. PSP17 sets out that the conservation of South Gloucestershire's heritage assets is a priority and where development would result in harm to the significance of the asset it should be refused unless public benefit outweighs the harm.

It was noted when considering the Outline application that the application site contains no heritage assets. It was also noted that there is a Grade II* farm house in Frith Lane (Frith Farm) however it was considered that this building was at too great a distance from the development for there to be an impact upon its setting.

A locally listed building sits at distance to the north of the site on the main road known as Tollgate Cottage. There are also two locally listed cottages on Pincots Lane to the south. Locally listed buildings are defined as non-designated heritage assets. It was acknowledged at the outline stage that there would be an impact upon the setting of

these buildings. In particular the cottages on Pincots Lane benefit historically from a tie to the agricultural land which will be lost through this residential development.

At the outline stage it was acknowledged that there would be a harm to these non-designated heritage assets however that harm would be less than substantial (the test set out in the NPPF). This impact therefore while less than substantial formed part of the planning balance in the approval of the outline application when the public benefit was considered to outweigh any harms. The Heritage Officer raises no objection to the detailed proposal.

5.6 **Public Rights of Way**

Policy CS8 states that all new development will be encouraged to support travel by other means than the private car, with this being achieved among other means by the provision of and integration of walking, cycling and public transport into the local network. The policy along with Policy CS6 allows for developer contributions to secure improvements to existing facilities. Policy PSP10 of the Policies, Sites and Places Plan also safeguards active travel routes which include public rights of way as well as seeking improvements to existing routes and ensuring that new developments are integrated into the existing network of paths.

In considering the outline application, in recognizing that there is a long standing objective to secure a cycle way from Wickwar to Chipping Sodbury provision for such a link was made within the hedge along the front of the site on the indicative plan. It should be noted that this facility is being provided in the development to the north currently under construction. The provision of this facility will provide a link back to Wickwar. To this end the following condition was applied to the outline consent:

The reserved matters details to be submitted for approval referred to in condition 1 shall include full details of a 3 m wide multi-user link to run from the north to the south of the site alongside the Sodbury Road (these details will include the necessary access points from the link). The approved details shall then be implemented prior to the first occupation of the development.

To accord with the above policies it was considered at the outline application stage that the development, as well as providing the new multi-user link, would provide an opportunity to improve existing footpath infrastructure. Indeed the improvement of these assets formed part of the planning balance.

All existing footpaths namely LWR/22 that runs diagonally from Sodbury Road to Pincots Lane and LWR/21A that runs north to south from Horwood Lane to Pincots Lane are retained within the proposed layout. Improvements to access arrangements were secured at each end of these footpaths through the S106 agreement. The formal diversion of LWR/22 at the southern end as been secured through the S106 so that it goes around Pincots Cottage was secured (this the route on the ground but the definitive map shows the route crossing the curtilage of Pincots cottage. In addition at the northern end of footpath LWR/21A the path will be formally diverted, (also secured through the S106), so that it is possible to leave it and cross Horwood Lane to immediately join the path opposite that goes through the development to the north.

The public rights of way team are satisfied that the proposed layout accommodates these changes and that subject to conditions to secure appropriate signage and full details of the surface materials for the multi-user link that the proposal is acceptable and in accord with Policies CS8 and PSP10.

5.7 **Flood Risk/Drainage**

Policy CS1 and CS9 of the South Gloucestershire Local Plan Core Strategy in accord with Chapter 10 of the National Planning Policy Framework seeks to reduce and manage the impact of flood risk through location, layout, design, choice of materials and the use of Sustainable Urban Drainage Systems (Suds). PSP20 states that development will be expected to reduce surface water discharge from a site *“incorporating Sustainable Drainage Systems (Suds) to reduce surface water run-off and minimise flood risk”*.

The application site is located within Flood Zone 1, the lowest area of Flood Risk. Condition 6 attached to outline consent PK17/4552/O required the submission of a full Sustainable Urban Drainage scheme with the reserved matters application. This has allowed the landscaping scheme now submitted as a reserved matter to be considered at the same time as the drainage which is essential on a green- field site.

This information is included on the submitted plans and within a separate Suds Management Strategy. When considering the application further clarification and additional information has been sought and received regarding the detail of the drainage scheme and it's future operation/maintenance. The strategy includes an outflow into the existing drainage ditch on the southern boundary and this is deemed acceptable.

Subject to a condition to ensure that all works take place in accordance with the agreed drainage details the proposal is considered acceptable in drainage terms and will discharge Condition 6 attached to the outline consent.

5.8 **Residential Amenity**

The relationship between the new houses and those that surround the site is considered acceptable having regard to any impact upon privacy or outlook. As discussed elsewhere in this report, it is considered that adequate private amenity space to accord with the standards set out in PSP43 is being provided.

5.9 **Design**

The current proposal considers the detailed layout of the proposal as well as the appearance. At the outline stage, as required, a Design and Access Statement was assessed by officers and endorsed setting out the broad design principles that the detailed design and appearance were expected to follow taking into account the characteristics of the site and its surroundings including its constraints and opportunities.

The site is located at distance to the south of the formal settlement boundary and away from the historic core of Wickwar. To the immediate north of the site a development of 85 dwellings (Bellway Homes) is currently under construction and is

housing largely comprises modern two storey detached properties. Detached properties with more individual characters lie on the opposite side of Sodbury Road and on the southern boundary (Horwood Lane). Key constraints are the hedgerows on and around the site with trees on the southern and north eastern boundary as well as a number of footways (LWR 21/10 from Horwood Lane to Sodbury Road and LWR 20/10 on fields to the west). A significant number of changes to the original submission have been negotiated in conjunction with the Urban Design Officer that are too numerous to list here.

Layout

Key principles agreed at the outline stage, through the Design and Access Statement have been carried through to the detailed design and this is welcomed.

This includes properties facing onto Sodbury Road (as per the other side of the road), to create a frontage. It is considered important for the development to integrate with the existing settlement in this way. Given the rural surroundings, where the development abuts the countryside it was considered important that there were lower densities so that there was a soft and filtered edge to the settlement. The entire eastern boundary comprises the area of open space (open space in total constitutes over half the application site area) but further into the site the first area of built form comprises the larger detached properties facing onto this large landscape buffer.

Careful consideration has been given having regard to safety and security at the site and to this end it has been important to ensure that to the greatest possible extent all areas are overlooked creating natural surveillance, well-lit and where there is sense of ownership in order to reduce crime and the fear of crime. Generally the scheme follows a perimeter style of development where housing and associated gardens are placed back to back forming secure living environments. There are clearly defined streets and open space to the front of buildings that provides good opportunities for overlooking of the public realm. The scheme has been examined in detail by the police architectural liaison officer who has indicated satisfaction with the proposal.

The main central square at the end of the primary street off Sodbury Road is welcome where the interesting pin wheel arrangement where the view down each street entering the space terminates at the front of a property. This arrangement should also help to slow vehicle speeds through the site.

There are a few areas where improvements could have been made, for example a reduction in boundary treatments along the public right of way, with access drives alongside creating more activity in that area although a shared surface does cross at one point. There are perhaps more access roads than strictly necessary and a more efficient use of land could have been achieved. There is a slightly awkward area where the garden of No.10 will be overlooked at a distance of approx. 9m by windows in No.15, 16 and 17 which is not an unusual situation in an urban setting but could be better. From a design point of view a more formal arrangement for the public right of way might be preferable however the more informal surface is preferred by the public rights of way team within a rural setting. Large scale garaging is not preferred, there are still some examples but greatly reduced and the design and appearance has been changed to use high quality materials including doors.

The parking layout is generally acceptable, being largely on-street and aside from one location (plot 60 to 63) all parking courts are to the front.

In layout terms, some improvements could still be made, however overall the layout is considered acceptable, providing an attractive environment for future occupiers and the wider public realm.

Scale

The outline allowed for up to 90 dwellings and this limit has not been exceeded. In order to reflect local character, a restriction in the maximum height of buildings was imposed by condition of 9 metres and this has been adhered to in the detailed design, however across the site buildings have a variation in heights so that there is a varied roofscape across the site. Whilst the overall restriction of height of 9 metres in height has not been exceeded a variety in the height of ground to ridge height or eaves adds visual interest. In addition there are a variety of property widths. The scale of the buildings are considered appropriate.

Appearance/Materials

The detailing proposed is considered acceptable, this includes a variety of features such as chimneys and window styles.

Initially there were concerns relating to the amount of tarmac shown. A significant amount of block paving has now been added following negotiation. This helps to differentiate parking areas from the surrounding highways and streets.

Building materials comprise a mix of smooth render, recon stone, brick and grey and red tiling. This is a very simple approach and it is noted that two brick types would be preferable. A detailed "materials condition" is therefore to be applied and very careful consideration will be given to the brick type of choice, with a very high quality being expected.

Initially there was a considerable concern regarding the amount of red clay tiles proposed, in particular as these are not compatible with the use of Solar PV panels (black on red). The amount of grey tiling has been increased on almost all those properties that have this feature and certainly where in a prominent location. Slate tiles will be the predominant roofing material particularly along the site frontage, main-street and facing onto the open space on the eastern side of the site, with concrete tiles used limited to properties along the secondary roads.

Boundary Treatments

Initially a large number of the boundary treatments comprised close boarded fencing, something not appropriate to a rural location. While private boundaries to the rear comprise fencing in most cases, stone screen walling and hedging is used in almost all prominent locations following negotiation.

Public Art

Policy CS1 seeks to ensure “where the scale, location and/or significance of the development proposal warrants it, embedded public art within the public realm or in a location where it can be viewed from public areas”. A Public Art Plan has been submitted setting out the proposed approach having regard to the character of the location, the commissioning process, a draft budget (£26,925) materials and maintenance. A timescale for implementation has also been agreed.

The Public Art Officer has reviewed the plan and is happy with the contents. A condition will be added to the decision notice to ensure that the development proceeds fully in accord with this plan.

Energy use (Onsite Renewable and Low Carbon Energy)

Policy CS1 of the Core Strategy seeks to ensure that energy conservation and the protection of environmental resources is integral to good design. PSP6 goes further and indicates that all development will be encouraged to minimise end user energy requirement over and above the building regulations through energy and efficiency measures (with major development being required to reduce Co2 emissions further by at least 20% via the use of renewable and/or low carbon generation sources on or near the site providing it is practical and viable). It should be noted that PSP6 was adopted after the grant of outline consent and therefore agreement to comply with the policy can be considered a positive benefit.

To help secure the aims and objectives of the above policies three specific conditions were applied to the outline consent, firstly Condition 18 required full details of a scheme of Electric Vehicle Charging Points for each property. This information has been submitted and a condition to ensure compliance with the approved plan will be attached to this decision notice. Secondly a condition was applied to ensure that all gas fired boilers met a particular minimum standard (less than 40mgNOx/kWh) in the interests of air quality. This is a compliance condition (Condition 19). Lastly a condition was applied to require as part of the reserved matters submission, information to demonstrate how the development will reduce carbon dioxide emissions through the use of renewables and/or low carbon energy generation either on or near the site (Condition 22).

A detailed Energy Statement has been submitted to accord with the requirements of Condition 22 and this has been revised to take into account the initial comments raised by the Environmental Policy Team. The statement broadly provides an estimate of the energy demand and the CO2 emissions that will result from the development, how the layout, orientation etc is designed to minimise energy consumption and detail of the measures that have been taken to minimise energy demand beyond those required by the building regulations through the use of calculations. In addition the statement sets why those measures have been chosen.

The statement concludes that the development will incorporate Carbon reduction measures in accordance with the PSP Policy 6 calculation guidance ie a 20% reduction. The statement concludes that a range of energy demand reduction measures have been considered and that the scheme will deliver a circa 4% reduction over the Part L compliant baseline. Low and zero carbon energy systems have been

considered for their suitability and feasibility of delivering the 20% CO₂ reductions required by PSP6. This assessment concludes that due to the high carbon saving potential of the technology, solar PV systems are considered most appropriate. Based on the initial calculations undertaken, a system capacity of circa 121,329kWh is proposed, to offset 62,970kg CO₂/year equivalent to 20.00% of the residual regulated and unregulated emissions from the development, in accordance with PSP Policy 6.

The statement also concludes that in compliance with the additional requirements set out in Condition 18 and 19, Linden Homes will provide suitable electric infrastructure in order to support future installation of electric charging points and utilise gas boilers of a minimum NO_x standard of <40mgNO_x/kWh.

In summary, the development is considered acceptable in these terms subject to a condition to ensure; that the development proceeds in accordance with the submitted Energy Statement (as revised); the provision of Electric Charging Points for vehicles as shown on submitted plans and lastly to require the submission of certification to show that air-tightness has been achieved in each unit prior to the occupation of the 30th, 60th and 90th Unit.

Overall it is considered, (subject to careful consideration of the materials proposed through condition discharge), that the design of the development is of a high quality that combines a distinctiveness while also being acceptable within the context of the wider area.

5.10 **Archaeology**

Policy CS9 seeks to ensure that new development conserves, and enhances heritage assets in a manner appropriate to their significance.

Prior to the determination of the outline application the applicant undertook a geophysical survey of the site which indicated that there is an absence of archaeology of national significance, however given that the results did not demonstrate clearly that archaeology did not exist on the site, a condition was included with the decision requiring trial trenching leading to the production of a detailed mitigation strategy to be applied to the construction phase of the development. The Council Archaeologist has stressed the importance of the applicant abiding by the requirements of the condition.

5.11 **Transportation**

Access to the development was determined/agreed through the outline permission and the access shown on this application for reserved matters is fully in accord with those details.

Concerns have been raised that the site will be to a large extent “car dependent” and thus the site is located in an unsustainable location. Also concerns are raised about the increase in traffic likely to be generated on roads that are already considered to be at capacity. It is important to note that car dependency was identified as a harm at the outline stage in considering the principle of development and formed a key part of the planning balance in reaching a decision at that time. At the outline stage it was considered that the benefits from the proposal would outweigh any harm.

At consideration of the outline application, it was not considered that the numerically small increase in traffic numbers would justify the refusal of the application. It was acknowledged that the site would largely be car dependent. In mitigation improvements to footpaths, including a multi-user link are being provided along with improvements to bus stops, traffic calming and contributions to school transport have been secured. Two specific conditions required the provision of a north-bound bus stop and associated works with crossing point. The information submitted is deemed acceptable.

In considering this, the reserved matters application the key issues for consideration are therefore relate to the detailed layout. In considering the layout the issues for consideration are whether the road layout (both internally and at the access), is appropriate in design terms for all users including service vehicles, whether the connections to the wider area for pedestrians are provided in an appropriate and safe way as these links are particularly important for a greenfield site where the relationship with the existing settlement is important. Lastly the provision of parking spaces to accord with the Council's standards is a key material consideration both for future occupiers and visitors.

Crossing Point (Frith Lane)

Concern has been raised by the Parish Council that the proposal should include a safe crossing point from the development to Frith Lane and note that the revised plans do not include this and that this has been a long standing priority.

It should be noted that as part of the package of measures secured through the S106 Agreement (and condition). These measures comprised three broad categories as follows:

- 1) The creation of a vehicular access plus provision of multi-users path along the development together with associated works
- 2) The construction of traffic calming and extension to 30mph zone on Sodbury Road. This included the payment to the Council of its reasonable costs in connection with any traffic regulation orders or consultation procedures required for the development or the highway works and carryout forthwith any consequent physical works including associated works
- 3) The provision of bus stop on the north-bound Sodbury Road with associated works including a crossing.

It is very important to note that while the outline consent has secured in principle the necessary works and funding, agreement to the detailed design of "the physical works" will be examined and approved through Section 278 of the Highways Act 1980, supporting the planning approval.

The Council Development Implementation Team have confirmed that the detailed design of the works have not been approved yet through the S278 process and discussion on an acceptable (final) design is on-going. Given the concern that has been raised by the Parish Council Officers are seeking as a priority adjustments to the design to secure a crossing point between the two areas of tactile paving that are

shown on either side of Sodbury Road. Such a move would likely also take place in conjunction with the location of a speed table at the crossing point together with the change to the 30mph speed limit at the Frith Road junction. All these works as well as all other highways works associated with the development will be the subject of a safety audit.

Parking

Minimum standards for residential parking are set out in PSP16 of the Policies Sites and Places Plan (Adopted Nov 2017). The number of spaces required is based upon the number of bedrooms per dwelling or apartment (for example a 3 bed dwelling would require 2 no. parking spaces). In addition 0.2 spaces per dwelling should be provided for visitors unless otherwise agreed by the Council.

The proposed development provides parking provision in accordance with this policy position. Some alterations to the location of parking provision have been negotiated, for example to ensure that parking is wherever possible is located in a secure/overlooked location. In addition the location of some visitor parking spaces has been revised for example close to the central square area to avoid inappropriate parking and also close to the allotments.

Subject to a condition to ensure that all parking spaces are provided prior to the occupation of each property, the development is considered acceptable in these terms.

Layout

Careful consideration has been given to the visibility splays from the site access and the footpath/cycleway connections as well as for the pedestrian crossing point opposite Frith Lane to ensure that these avoid conflict between the different users. Information has been secured to show that the vehicles can pass at the entrance to the site. Alterations to road widths have been secured at points across the site in order to ensure effective circulation throughout the site.

In terms of Waste Collection alterations to the layout have been made to ensure that the site is fully accessible by refuse vehicles and to ensure that the development is fully compliant with the requirements that are set out in the Waste Collection Guidance for new developments January 2015 SPD by ensuring that waste management is integral to the design. Storage points are all within the boundaries of semi-detached and detached properties and to the front. Where collection points are required these are all well within the 25m limit set out in the Waste SPD. Negotiations have ensure that none of the facilities are located with any areas of open space (for example the diagonal footpath or its surrounds).

Subject to the condition set out above the proposed development is considered acceptable in transportation terms.

5.12 **Landscaping**

Policy CS1 of the Core Strategy requires that development of a sufficient scale or significance explains how it contributes towards the vision and strategic objectives of the locality. Policy CS9 states that new development will be expected to “conserve

and enhance the character, quality, distinctiveness and amenity of the landscape” and that character is identified in the South Gloucestershire Landscape Character Assessment (Wickwar Ridge and Vale) that was adopted as a supplementary planning document in November 2014.

The key consideration at the outline stage was the impact of the proposal upon the existing landscape character, nevertheless the design and access statement informed as to how the detail to be brought forward at the reserved matters stage would respond to the site and its setting.

Concerns as set out above (consultation response) were raised to the quality of the original submission for this application and a protracted series of negotiations has taken place to secure necessary improvements. The number of changes are too numerous to list in detail but below is a summary of the changes that have been agreed.

Improvements have been made to the quality and size of the landscape buffers around the urban form to align the scheme more closely with the indicative layout shown at the outline stage. The buffer along the Sodbury Road has been deepened, particularly close to Plots 1, 2 and 3 also Plot 90. There will be a narrowing close to Plots 63 and 64 but this is considered acceptable. A significant improvement in the southern landscape buffer has been negotiated to that originally shown. In particular the negotiated repositioning of the allotments to the southern boundary allows an improvement on this edge of the site.

As acknowledged elsewhere in this report, some additional hedgerow removal has been allowed (through the discharge of condition), at the northern end of the multi-user link and this is regrettable but necessary to ensure safe access from this facility in terms of visibility.

Originally a pinch point was shown within corridor provided for the public right of way that runs diagonally across the site (not the prowl itself but surrounding land), this has been removed as has all obstructions such as bin storage. Public facing boundaries originally comprised large areas of close boarded fencing, this was not considered appropriate for a rural location and ran contrary to objectives set out in the design and access statement at the outline stage. Screen natural stone walling has been introduced in most public facing areas (although there are some exceptions where fencing remains in prominent positions such as the diagonal public right of way these are fronted by new mixed native hedgerow), so in general fencing is more limited to rear private areas. Where fencing is proposed details of weather-proofing will form part of the material condition attached to the decision notice.

Details of the security fencing around the pumping station will be included in the materials condition, this will need to be mindful of the rural location, for example unpainted palisade padding would not be appropriate within this context. Hedgerows also have been added in particular front garden hedging comprising new native hedgerow which will add character to the development. Stock proof fencing is to be provided on the eastern boundary where a hedgerow would have been preferable.

A significant number of street trees and trees more generally within the public realm have been secured included two within the central square area. The nature of the

planting, sizes and species has been agreed and will form part of the approved plans. Limited rear garden planting is shown but to an extent it is considered that the treatment of rear gardens is a private matter.

While significant improvements have been secured, it has not been possible to agree an area for community orchard planting which is regrettable.

The use of buff hoggan paths has been secured, which is more natural and preferable to asphalt. The condition requiring the submission of details of materials (prior to the commencement of development) will include a requirement for details of the material to be used in these paths including its colour and quality. This condition will require details of the edging to be used for the paths.

As indicated above a materials condition attached to the decision notice will require the submission of further details of aspects such as path surfacing and fencing. A condition will also be attached to the decision notice to ensure that all hard and soft landscape works shall be carried out in accordance with the approved details. The condition will also require that any planting that does not thrive within the first 5 years, shall be replaced with plant material of the same species and size as approved under the original planting scheme. Subject to these conditions the proposed development is considered acceptable in landscaping terms.

5.13 **Public Open Space Issues**

Given that a large proportion of the site is devoted to open space to include surface water infrastructure including attenuation pond and pumping station, allotments, lighting, play area, paths and planting, a very significant level of negotiation has taken place to secure improvements to initial proposals in all these areas.

Clarity has been sought as to which areas will be publically adopted through the S38 procedure and this is now shown on a “to scale plan”. The amount of public open space is set at a minimum of 3.26 hectares in the S106 agreement and it has now been shown on the plan that this is achieved.

As set out above considerable attention has been given to the diagonal green corridor which includes the public right of way to ensure that this has high amenity value. Refuse collection points have been removed and areas of hedging including where at the outset fencing was proposed, or at certain positions hedges will be planted to the front of hedges. Appropriate hedge species have been secured. An appropriate system has been agreed for the “tree pits” to ensure the successful growth of street trees while at the same time not impacting upon the condition/future maintenance of the streets.

Initially concerns were raised that the details submitted for the locally equipped play area showed an over emphasis on the youngest age groups, this has been amended and the overall design of this facility is much improved, this includes ensuring that pipework associated with a nearby attenuation feature (part of the sustainable drainage) will not conflict with the play equipment foundations, appropriate fencing is provided, appropriate surfacing and not least an appropriate shape. Adequate access to the drainage features is now provided. Regarding surfacing for public paths across the site, this has been agreed in principle but as indicated elsewhere in this report the

exact surfacing materials will be agreed by condition. Bins and appropriate seating will be provided.

Full details of sheds, fencing and gates for the allotment area has been agreed following negotiation and this area is deemed acceptable

It was envisaged at the outline stage that the attenuation pond would be smaller than that shown and this has resulted in a reduction in the amount of woodland planting originally shown, however negotiations have secured an increase in the amount of planting. The level and types of planting is largely agreed following negotiation, including a significant amount of tree planting including extra heavy standard trees, to the satisfaction of officers. Aside from trees 2066 shrubs of a mix agreed with officers will be planted across the site.

To avoid “desire lines” being created across the landscaped areas, between the public path and access routes from the residential areas on the southern side of the site more formal links are now shown in three locations, following negotiation.

Subject to conditions to ensure that works take place in accord with the Suds Management Strategy and approved plans and a conditions to secure details of fencing and surfacing (materials condition), the proposal is considered acceptable in these terms.

5.14 **Affordable Housing**

Concern has been raised that the development does not provide affordable housing of the appropriate type however, as set out in Section 4.2 above, following negotiations, the development will secure the provision of 32 units of affordable housing (23 units for social rent and 9 units for shared ownership) with the house types being broadly in accord with the S106 agreement. The following is a more detailed breakdown of the provision:

Social Rent

Number	Type	Min Size m ²
2	1 bed 2 person flats	50
4	2 bed 4 person flats	70
4	2 bed 4 person houses	79
3	2 bed 4 person wheelchair spec house	95
8	3 bed 5 person houses 2 storey	93
2	4 bed 6 person houses 2 storey	106

Shared Ownership

Number	Type	Min Size m ²
2	1 bed 2 person flat	50
3	2 bed 4 person houses	79
4	3 bed 5 person houses 2 storey	93

The design of the buildings accords with the S106 being built to the same design standard as the market units and in addition Lifetime Homes standard, Part 2 of the Secured by Design Standard and the Design Standards set out in the “*Registered Providers Design Brief*”.

Negotiations have secured amendments to the clustering arrangements. Policy (and the S106 agreement) require that dwellings should be in clusters of no more than 6, and for flats this means no more than 6 with a shared entrance. At one location it is noted that 7 units namely Plots 76-80 and Plot 81 and 82 would be in close proximity however given the house types and the fact that there is a clear separate frontage, officers consider this acceptable. Wheelchair units are of an appropriate design. The proposed development is acceptable in these terms.

5.15 **Consideration of likely impact on Equalities**

The Equality Act 2010 protects people from discrimination in the workplace and in wider society. As a result of this Act the public sector equality duty came into force. Among other things those subject to the equality duty must have due regard to: eliminate unlawful discrimination, harassment and victimisation; advance equality of opportunity; and foster good relations between people who share a protected characteristic and those who do not. The general equality duty therefore requires organisations to consider how they could positively contribute to the advancement of equality and good relations. It requires equality considerations to be reflected into the design of policies and the delivery of services.

With regards to the above this planning application is considered to have a neutral impact on equality.

6. **CONCLUSION**

- 6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.
- 6.2 The recommendation to grant planning permission has been taken having regard to the policies and proposals in the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013 set out above, the South Gloucestershire Local Plan Policies, Sites and Places Plan November 2017 and to all the relevant material considerations set out in the report.

7. **RECOMMENDATION**

That planning permission is granted subject to the conditions set out below

Contact Officer: David Stockdale
Tel. No. 01454 866622

CONDITIONS

1. Tree Protection

All works shall take place fully in accordance with the Arboricultural Impact Assessment and Method Statement (Tyler Grange 6th November 2019)

Reason

To protect the character and appearance of the area to accord with Policies CS1 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework.

2. Noise Attenuation

The development shall proceed in accordance with the Noise Impact Assessment (Clarke Saunders Acoustics, dated 23rd April 2019).

Reason:

In order to protect the amenity of future occupiers of the development and to accord with Policy CS9 of the South Gloucestershire Local Plan Core Strategy 2013 and Policy PSP21 of the South Gloucestershire Council Local Plan Policies Sites and Places Plan 2017.

3. Public Art

The development shall proceed in accordance with the agreed scheme of Public Art (The Diana Hatton Consultancy February 2019 as submitted on 22nd July 2019)

Reason:

To protect the character, distinctiveness and visual amenity of the site and the surrounding locality; and to accord with Policy CS23 - Community Infrastructure and Cultural Activity and Policy CS1 - High Quality Design Point 7 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013

4. Parking Provision

The off-street parking facilities (for all vehicles, including cycles) shown on the plan hereby approved shall be provided before the building is first occupied, and thereafter retained for that purpose.

Reason

To ensure the satisfactory provision of parking facilities and in the interest of highway safety and the amenity of the area, and to accord with Policy CS8 of the South Gloucestershire Local Plan; Core Strategy (Adopted) December 2013; and the South Gloucestershire Residential Parking Standards SPD (Adopted) December 2013.

5. Landscape Implementation

All hard and soft landscape works shall be carried out in accordance with the approved details. All plant material which fails to thrive within the first 5 years, shall be

replaced with plant material of the same species and size as approved under the original planting scheme.

Reason;

To ensure the successful establishment of the approved planting scheme and adequate mitigation for the development is achieved and to accord with Policies CS1,CS2 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework.

6. Energy Statement

Each dwelling hereby approved shall incorporate energy efficiency measures, renewable energy, and climate change adaptation measures into the design and construction of the development in full accordance with the approved Energy Statement (Revision 3 as revised by AES Sustainability Consultants 29th October 2019) prior to occupation.

Prior to first occupation of each dwelling, Electric Vehicle Charging Points shall be provided in accordance with Drawing No.100 Rev B P4 (Appendix C of the Energy Statement Rev 3)

Evidence that air-tightness of 5.0m³/h.m² at 50Pa (as set out in 4.10 and 4.11 of the Energy Statement) has been achieved in each built unit shall be provided prior to occupation of the 30th dwelling, 60th dwelling and 90th dwelling through the provision of appropriate certificates.

Reason:

To ensure high quality design through Sustainable Construction and to accord with Policy CS1 of the South Gloucestershire Local Plan Core Strategy 2013

7. Multi-User Link

Notwithstanding any details shown on the plans hereby approved, prior to the commencement of that part of the development, a sample of the surfacing materials to be used for the route shall be submitted to and approved in writing by the Local Planning Authority. All works shall be carried out in accord with the approved details.

Reason:

In the interests of the visual amenity of the area and to accord with Policy CS1 of the South Gloucestershire Local Plan Core Strategy 2013

8. Approved Plans

This decision relates only to the plans identified below:

Received 8th November 2019

Planning Layout 1351 100 Rev F

External Works Layout 1351 110 Rev E

Soft Landscape Proposals Sheet 1 12116_P02e F

Soft Landscape Proposals Sheet 2	12116_P02e	F
Soft Landscape Proposals Sheet 3	12116_P02e	F
Public Space Location Plan	12116_P04c	D
Vehicle Swept Path Analysis	L456-07F	G
Proposed Levels and Contours Sheet 1	L456-15E	F
Proposed Levels and Contours Sheet 2	L456-16E	F
Proposed Levels and Contours Sheet 3	L456-17E	F
Proposed Levels and Contours Sheet 4	L456-18E	F
Highway Surface Finishes and Kerbs Sheet 1	L456-22E	F
Highway Surface Finishes and Kerbs Sheet 2	L456-23E	F
Highway Surface Finishes and Kerbs Sheet 3	L456-24F	G
Highway Surface Finishes and Kerbs Sheet 4	L456-25F	G
Street Lighting Plan	L456-27E	F
Proposed Drainage Strategy including Cross Sections of Attenuation Ponds		
L456-26E	H	

Received 14th October 2019

Location Plan 1351_102 Rev A
 Affordable Housing Plan 1351_106 Rev B
 Parking Strategy Plan 1351_107 Rev B
 Play Area Specification (Saxon Gate) 1908.23691
 Outfall and Control Manhole Detail L456-40

Received 13th September 2019
 Street Scenes 1351_51 Rev A
 Wall and Fence Details A2 1351_54
 Garages A2 1351_56-1 Rev A
 Garages A2 1351_52-2 Rev A

House Types (Elevations and Plans) as follows:

HT Eveleigh x 2 Elevations HT-EVx2-01 REV A
 HT Eveleigh x 2 Floor Plans HT-EVx2-02 REV-
 HT Mountford Elevations HT-Mo-01 REV A
 HT Mountford Elevations HT-Mo-02 REV A
 HT Mountford Floor Plans HT-Mo-03 REV A
 HT Mountford & Eveleigh Elevations HT-Mo-Ev-01 REV A
 HT Mountford & Eveleigh Floor Plans HT-Mo-Ev-03 REV A
 HT Mylne Elevations HT-My-01 REV A
 HT Mylne Elevations HT-My-02 REV A
 HT Mylne Floor Plans HT-My-03 REV A
 HT Knightley Elevations HT-Kn-01 REV A
 HT Knightley Elevations HT-Kn-02 REV A
 HT Knightley Elevations HT-Kn-03 REV A
 HT Knightley Floor Plans HT-Kn-04 REV A
 HT Knightley Elevations HT-Kn-05 REV A
 HT Pembroke Elevations HT-Pe-01 REV A
 HT Pembroke Elevations HT-Pe-02 REV -
 HT Pembroke Elevations HT-Pe-03 REV A
 HT Pembroke Floor Plans HT-Pe-4 REV A

HT Ripley Elevations HT-Ri-01 REV A
HT Ripley Floor Plans HT-Ri-02 REV A
HT Blenheim Elevations HT-BI-01 REV A
HT Blenheim Elevations HT-BI-02 REV A
HT Blenheim Floor Plans HT-BI-03 REV A
HT Colcutt Elevations HT-CI-01 REV A
HT Colcutt Floor Plans HT-CI-02 REV A
HT Cottingham Elevations HT-Ct-01 REV A
HT Cottingham Elevations HT-Ct-02 REV A
HT Cottingham Elevations HT-Ct-03 REV A
HT Cottingham Floor Plans HT-Ct-04 REV A
HT Fletcher Elevations HT-FI-01 REV A
HT Fletcher Elevations HT-FI-02 REV A
HT Fletcher Elevations HT-FL-03 REV A
HT Fletcher Floor Plans HT-FL-04 REV A
HT Goodridge Elevations HT-Go-01 REV A
HT Goodridge Floor Plans HT-Go-02 REV -
HT Leverton Elevations HT-Le-01 REV A
HT Leverton Elevations HT-Le-02 REV A
HT Leverton Floor Plans HT-Le-03 REV A
HT 2BWC Front & Side Elevation HT-2BWC-01 REV A
HT 2BWC Floor Plans HT-2BWC-02 REV A
HT 2BWC Front & Side Elevation HT-2BWCx2-01 REV A
HT 2BWC Rear & Side Elevation HT-2BWCx2-02 REV A
HT 2BWC Floor Plans HT-2BWCx2-03 REV A
HT A10L, A24L & A30L Elevations HT-A10L-A24L-A30Lx2-01 REV A
HT A10L, A24L & A30L Elevations HT-A10L-A24L-A30Lx2-02 REV -
HT A10L, A24L & A30L Floor Plans HT-A10L-A24L-A30Lx2-03 REV -
HT A10 & F05 Front Elevation HT-A10-F05x2-01 REV A
HT A10 & F05x2 Rear & Side Elevation HT-A10-F05x2-02 REV A
HT A10 & F05x2 Ground Floor Plan HT-A10-F05x2-03 REV -
HT A10 & F05x2 Floor Plans HT-A10-F05x2-04 REV -
HT A37, A30L & A24L Front Elevation HT-A30-A24-A30-A37-01 REV A
HT A37, A30L & A24L Rear & Side Elevation HT-A30-A24-A30-A37-02 REV A
HT A37, A30L & A24L Floor Plans HT-A30-A24-A30-A37-03 REV A
HT A30 & A24 Elevations HT-A30-A24x2-01 REV A
HT A30 & A24 Floor Plans HT-A30-A24x2-02 REV -
HT A30 & A24 Elevations HT-A30x2-A24-01 REV A
HT-A30 & A24 Floor Plans HT-A30x2-A24-02 REV -
HT A37 & A24 Elevations HT-A37-A24x2-01 REV A
HT A37 & A24 Floor Plans HT-A37-A24x2-02 REV -
HT A37 & A30 Elevations HT-A37-A30x2-01 REV A
HT A37 & A30 Floor Plans HT-A37-A30x2-02 REV A
HT A40L Front Elevation HT-A40Lx2-01 REV A
HT A40L Floor Plans HT-A40x2-02 REV A

Received 3rd May 2019

Adoptable Drainage Details L456-21

Reason:
For the avoidance of doubt.

9. Sustainable Drainage

The proposed Sustainable Drainage Strategy shall be implemented in accordance with the following approved Plans and Documents:

- Proposed Drainage Strategy Plan / Drwg No. L456/26 / Rev G
- Private Drainage Details / Drwg No. L456/SK38 / First Issue
- Adoptable Drainage Details / Drwg No. L456/21 / First Issue
- Outfall and Control Manhole Details / Drwg No. L456/40 / First Issue
- SuDS Maintenance and Management Plan / Issue 2/ Dated October 2019
- Micro drainage Calculations - Surface Water Drainage / File L456 04-09-19.MDX / Dated 09/09/2019
- Document 'Discharge of Condition 6' / Issue 1 / Dated May 2019
- Overlay Plan 2 Topographical Survey, OS Mapping, Title Plan and Location Plan / Drwg No. L456/02 / First Issue

Reason

To ensure that a satisfactory means of drainage is provided, and to accord with policy CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework.

10. Footpath Signage

Prior to the first use of Public Footpaths LWR/22 and LWR/21A full details of directional signage with their locations shall be submitted to and approved in writing by the Local Planning Authority. The applicant shall install the signage in accordance with the approved details prior to the first use of the footpaths.

For the avoidance of doubt the signage shall be clear (not worded but icon based) with the destination indicated at each end. Footpath way marking is generally in yellow.

Reason:

To ensure the provision of clear signposting and therefore the effective use of the footpaths to accord with Policy CS8 of the South Gloucestershire Local Plan Core Strategy 2013 and PSP10 of the South Gloucestershire Local Plan Policies Sites and Places Plan 2017

11. Street Lighting Plan

The Street Lighting shall be installed in accordance with the details set out on Drawing No. L456/27 Revision E (Street Lighting Plan)

Reason:

To protect the wildlife and the ecological interests of the site to accord with Policy CS9 of the adopted South Gloucestershire Local Plan Core Strategy 2013.

12. Materials/Samples

Prior to the commencement of that part of the development full details of external finishes shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

The applicant is advised for the avoidance of doubt that the submitted details shall include the following:

Facing materials, including any bricks, render, cladding panels, timber cladding or stone (either recon or natural) - physical samples are required. On-site sample panels are required for significant areas of facing materials. If recon stone is one of the facing materials, the the coursing and jointing details also need to be submitted to the Local Planning Authority.

Boundary treatments, including any walls, railings, fencing including security fencing around the pumping station, (with any weather-proofing details). A good quality photo where similar treatments have been used will be acceptable, along with a clear technical specification

Public realm materials (excluding tarmac), including any paving (inc public paths), kerbs, edging, gravel-based systems with associated retaining structures (Brochure Details)

Windows and doors material and colour, with 1:50 scale technical drawing. Brochure images are acceptable provided these are clear (not pixelated) photos of the products specified. Drawing must show all recesses, reveals and associated elements, such as lintels and sills. Colours should be stated in RAL colour system.

All rainwater goods materials and colour, including guttering, downpipes and hoppers, and associated materials such as fascias and barge boards around eaves (Brochure).

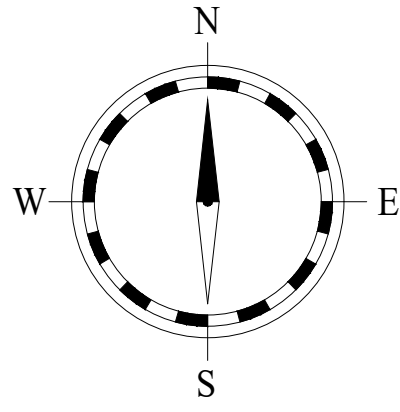
- Mortar colour, to be submitted as a sample.
- Roofing materials, submission of physical samples.

A pre-commencement condition is required in order to avoid the need for future remedial action.

Reason

To ensure a satisfactory standard of external appearance and to accord with Policy CS1 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013; and the National Planning Policy Framework. A pre-commencement condition is required in order to avoid the need for future remedial action.

SODBURY ROAD, WICKWAR



The contractor is to check and verify all building and site dimensions before and after each build at each stage before work starts. The contractor is to comply with all aspects with current building legislation: British Standards Specifications, Building Regulations, whether or not specifically stated on this drawing.

Sheet: 041019

0 5m 10m 15m 20m 25m 30m 35m 40m

Rev: B Date: 25.08.19

Updated following planners comments

C: 04.10.19

D: 10.10.19

Revised boundary updated

105

105

105

105

105



SODBURY ROAD, WICKWAR
SCHEDULE OF ACCOMMODATION

(Private)					
Code	Name	Beds	Sq. Ft.	No.	Total Sq. Ft.
Ev	Eveleigh	3	878	9	7,902
Mo	Mountford	3	985	10	9,850
My	Myline	4	1,152	3	3,456
Le	Leverton	4	1,230	4	4,920
Go	Goodridge	4	1,133	2	2,266
Pe	Pembroke	4	1,372	6	8,232
Kn	Knightley	4	1,448	11	15,928
Cot	Cottingham	4	1,599	3	4,797
Bl	Blenheim	4	1,796	3	5,388
Ri	Ripley	5	1,495	2	2,990
Fl	Fletcher	5	1,867	4	7,468
Col	Collett	5	1,993	1	1,993
Housing Totals				58	75,190

(Affordable)					
Code	Name	Beds	Sq. Ft.	No.	Total Sq. Ft.
A10	A10L (GF)	1	538	2	1,076
A10	A10L (FF)	1	624	2	1,248
F05	F05L	2	759	4	3,036
A24	A24L	2	865	7	6,055
2BWC	2BWC	2	1,297	3	3,891
A37	A37	3	1,009	4	4,036
A30	A30L	3	1,021	8	8,168
A40	A40L	4	1,141	2	2,282
Housing Totals				32	29,792
Site Totals				90	104,982

Nett Site Area	6.15	acres
Coverage	17,070	sq ft per acre
Density	14.63	units per acre

KEY - LAYOUT

NOTE - Drawing to be read in conjunction with the following detailed drawings:-

1351-54 (Streetscenes)

1.8m high close boarded fence

1.8m high timber gates fitted with pad bolts or similar

1.8m high timber post and panel fence

1.8m high screen wall (material to match associated dwelling)

0.6m high timber knee rail

1.2m high estate railings

900mm square p.c. paving slabs for private paths

4 Plot number

Indicates Affordable Units

Indicates front & rear door positions

Indicates 1m high bollards

Indicates refuse collection point with concrete slabs below and

Indicates block pavours

Linden

HOMES

PROJECT: SODBURY ROAD, WICKWAR

DRG TITLE: PLANNING LAYOUT

JOB NO: 1351 DRG NO: 100 REV: D

SCALE: 1:500

DATE: 10/18

DRN BY: HS

CKD BY: PS

The NOBLE Consultancy

Architectural Planning Urban Design Landscaping

The Stables, Says Court Farm, Badminton Road, Frampton Cotterell, South Gloucestershire, BS36 2NY

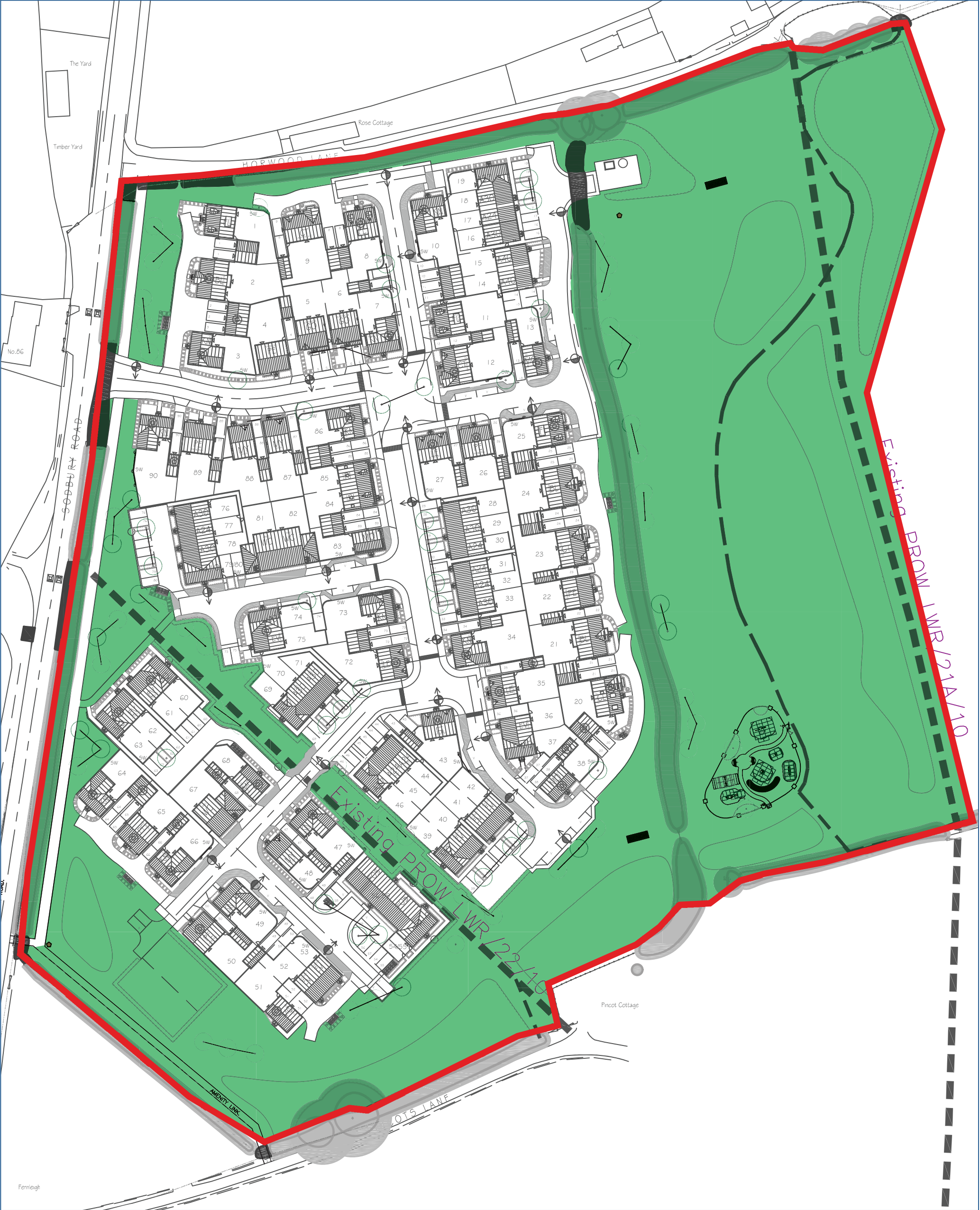
T: 0844 7452033

E: design@noble-consultancy.co.uk



W: www.noble-consultancy.co.uk

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PLANNING LAYOUT



Tyler Grange Group Limited
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-  Site Boundary
-  Locations of Public Space

Project	Sodbury Road, Wickwar
Drawing Title	Public Space Location Plan
Scale	1:1000 @ A3
Drawing No.	12116/P04c
Date	October 2019
Checked	AW/JC

Linden Ltd (T/A Linden Homes Western)
Linden House
The Jacobs Building
Berkeley Place
Clifton
Bristol
BS8 1EH

APP REF: P19/5258/RM
DATE VALID: 10th May 2019
DECISION DATE: 22nd November 2019
PARISH: Wickwar Parish Council

TOWN AND COUNTRY PLANNING ACT 1990 APPROVAL OF RESERVED MATTERS FOLLOWING OUTLINE PERMISSION FOR DEVELOPMENT

NOTICE OF DECISION

South Gloucestershire Council in pursuance of powers under the above mentioned Act hereby PERMIT:

APPLICATION NO: P19/5258/RM

DESCRIPTION OF DEVELOPMENT: Erection of up to 90no. dwellings with access, parking, landscaping, public open space, drainage and associated infrastructure with details of the appearance, landscaping, layout and scale (Approval of Reserved matters to be read in conjunction with planning permission PK17/4552/O).

APPLICANT: Linden Ltd (T/A Linden Homes Western)

LOCATION: Land South Of Horwood Lane Wickwar Wotton Under Edge
South Gloucestershire GL12 8NY

In accordance with the application and accompanying plans, subject to the conditions specified below:

CONDITIONS

1. Tree Protection

All works shall take place fully in accordance with the Arboricultural Impact Assessment and Method Statement (Tyler Grange 6th November 2019)

Strategic Planning, South Gloucestershire Council, Department For Environment And Community
Services, PO Box 1954, Bristol, BS37 0DD

Telephone: 01454 868004 Email: planningapplications@southglos.gov.uk

Reason

To protect the character and appearance of the area to accord with Policies CS1 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework.

2. Noise Attenuation

The development shall proceed in accordance with the Noise Impact Assessment (Clarke Saunders Acoustics, dated 23rd April 2019) and the approved layout plan (showing position of close boarded fencing).

Reason:

In order to protect the amenity of future occupiers of the development and to accord with Policy CS9 of the South Gloucestershire Local Plan Core Strategy 2013 and Policy PSP21 of the South Gloucestershire Council Local Plan Policies Sites and Places Plan 2017.

3. Public Art

The development shall proceed in accordance with the agreed scheme of Public Art (The Diana Hatton Consultancy February 2019 as submitted on 22nd July 2019)

Reason:

To protect the character, distinctiveness and visual amenity of the site and the surrounding locality; and to accord with Policy CS23 - Community Infrastructure and Cultural Activity and Policy CS1 - High Quality Design Point 7 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013

4. Parking Provision

The off-street parking facilities (for all vehicles, including cycles) shown on the plan hereby approved shall be provided before the building is first occupied, and thereafter retained for that purpose.

Reason

To ensure the satisfactory provision of parking facilities and in the interest of highway safety and the amenity of the area, and to accord with Policy CS8 of the South Gloucestershire Local Plan; Core Strategy (Adopted) December 2013; and the South Gloucestershire Residential Parking Standards SPD (Adopted) December 2013.

5. Landscape Implementation

All hard and soft landscape works shall be carried out in accordance with the approved details. All plant material which fails to thrive within the first 5 years, shall be replaced with plant material of the same species and size as approved under the original planting scheme.

Reason;

To ensure the successful establishment of the approved planting scheme and adequate mitigation for the development is achieved and to accord with Policies CS1, CS2 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework.

6. Energy Statement

Each dwelling hereby approved shall incorporate energy efficiency measures, renewable energy, and climate change adaptation measures into the design and construction of the development in full accordance with the approved Energy Statement (Revision 3 as revised by AES Sustainability Consultants 29th October 2019) prior to occupation.

Prior to first occupation of each dwelling, Electric Vehicle Charging Points shall be provided in accordance with Drawing No.100 Rev B P4 (Appendix C of the Energy Statement Rev 3)

Evidence that air-tightness of 5.0m³/h.m² at 50Pa (as set out in 4.10 and 4.11 of the Energy Statement) has been achieved in each built unit shall be provided prior to occupation of the 30th dwelling, 60th dwelling and 90th dwelling through the provision of appropriate certificates.

Reason:

To ensure high quality design through Sustainable Construction and to accord with Policy CS1 of the South Gloucestershire Local Plan Core Strategy 2013

7. Multi-User Link

Notwithstanding any details shown on the plans hereby approved, prior to the commencement of that part of the development, a sample of the surfacing materials to be used for the route shall be submitted to and approved in writing by the Local Planning Authority. All works shall be carried out in accord with the approved details.

Reason:

Strategic Planning, South Gloucestershire Council, Department For Environment And Community Services, PO Box 1954, Bristol, BS37 0DD

Telephone: 01454 868004 Email: planningapplications@southglos.gov.uk

In the interests of the visual amenity of the area and to accord with Policy CS1 of the South Gloucestershire Local Plan Core Strategy 2013

8. Approved Plans

This decision relates only to the plans identified below:

Received 8th November 2019

Planning Layout 1351 100 Rev F

External Works Layout 1351 110 Rev E

Soft Landscape Proposals Sheet 1 12116_P02e F

Soft Landscape Proposals Sheet 2 12116_P02e F

Soft Landscape Proposals Sheet 3 12116_P02e F

Public Space Location Plan 12116_P04c D

Vehicle Swept Path Analysis L456-07F G

Proposed Levels and Contours Sheet 1 L456-15E F

Proposed Levels and Contours Sheet 2 L456-16E F

Proposed Levels and Contours Sheet 3 L456-17E F

Proposed Levels and Contours Sheet 4 L456-18E F

Highway Surface Finishes and Kerbs Sheet 1 L456-22E F

Highway Surface Finishes and Kerbs Sheet 2 L456-23E F

Highway Surface Finishes and Kerbs Sheet 3 L456-24F G

Highway Surface Finishes and Kerbs Sheet 4 L456-25F G

Street Lighting Plan L456-27E F

Proposed Drainage Strategy including Cross Sections of Attenuation Ponds
L456-26E H

Received 14th October 2019

Location Plan 1351_102 Rev A

Affordable Housing Plan 1351_106 Rev B

Parking Strategy Plan 1351_107 Rev B

Play Area Specification (Saxon Gate) 1908.23691

Outfall and Control Manhole Detail L456-40

Received 13th September 2019

Street Scenes 1351_51 Rev A

Wall and Fence Details A2 1351_54

Garages A2 1351_56-1 Rev A

Garages A2 1351_52-2 Rev A

House Types (Elevations and Plans) as follows:

Strategic Planning, South Gloucestershire Council, Department For Environment And Community
Services, PO Box 1954, Bristol, BS37 0DD

Telephone: 01454 868004 Email: planningapplications@southglos.gov.uk

HT Eveleigh x 2 Elevations HT-EVx2-01 REV A
HT Eveleigh x 2 Floor Plans HT-EVx2-02 REV-
HT Mountford Elevations HT-Mo-01 REV A
HT Mountford Elevations HT-Mo-02 REV A
HT Mountford Floor Plans HT-Mo-03 REV A
HT Mountford & Eveleigh Elevations HT-Mo-Ev-01 REV A
HT Mountford & Eveleigh Floor Plans HT-Mo-Ev-03 REV A
HT Mylne Elevations HT-My-01 REV A
HT Mylne Elevations HT-My-02 REV A
HT Mylne Floor Plans HT-My-03 REV A
HT Knightley Elevations HT-Kn-01 REV A
HT Knightley Elevations HT-Kn-02 REV A
HT Knightley Elevations HT-Kn-03 REV A
HT Knightley Floor Plans HT-Kn-04 REV A
HT Knightley Elevations HT-Kn-05 REV A
HT Pembroke Elevations HT-Pe-01 REV A
HT Pembroke Elevations HT-Pe-02 REV -
HT Pembroke Elevations HT-Pe-03 REV A
HT Pembroke Floor Plans HT-Pe-4 REV A
HT Ripley Elevations HT-Ri-01 REV A
HT Ripley Floor Plans HT-Ri-02 REV A
HT Blenheim Elevations HT-BI-01 REV A
HT Blenheim Elevations HT-BI-02 REV A
HT Blenheim Floor Plans HT-BI-03 REV A
HT Collcutt Elevations HT-CI-01 REV A
HT Collcutt Floor Plans HT-CI-02 REV A
HT Cottingham Elevations HT-Ct-01 REV A
HT Cottingham Elevations HT-Ct-02 REV A
HT Cottingham Elevations HT-Ct-03 REV A
HT Cottingham Floor Plans HT-Ct-04 REV A
HT Fletcher Elevations HT-FI-01 REV A
HT Fletcher Elevations HT-FI-02 REV A
HT Fletcher Elevations HT-FL-03 REV A
HT Fletcher Floor Plans HT-FL-04 REV A
HT Goodridge Elevations HT-Go-01 REV A
HT Goodridge Floor Plans HT-Go-02 REV -
HT Leverton Elevations HT-Le-01 REV A
HT Leverton Elevations HT-Le-02 REV A
HT Leverton Floor Plans HT-Le-03 REV A
HT 2BWC Front & Side Elevation HT-2BWC-01 REV A
HT 2BWC Floor Plans HT-2BWC-02 REV A
HT 2BWC Front & Side Elevation HT-2BWCx2-01 REV A
HT 2BWC Rear & Side Elevation HT-2BWCx2-02 REV A

HT 2BWC Floor Plans HT-2BWCx2-03 REV A
HT A10L, A24L & A30L Elevations HT-A10L-A24L-A30Lx2-01 REV A
HT A10L, A24L & A30L Elevations HT-A10L-A24L-A30Lx2-02 REV -
HT A10L, A24L & A30L Floor Plans HT-A10L-A24L-A30Lx2-03 REV -
HT A10 & F05 Front Elevation HT-A10-F05x2-01 REV A
HT A10 & F05x2 Rear & Side Elevation HT-A10-F05x2-02 REV A
HT A10 & F05x2 Ground Floor Plan HT-A10-F05x2-03 REV -
HT A10 & F05x2 Floor Plans HT-A10-F05x2-04 REV -
HT A37, A30L & A24L Front Elevation HT-A30-A24-A30-A37-01 REV A
HT A37, A30L & A24L Rear & Side Elevation HT-A30-A24-A30-A37-02 REV A
HT A37, A30L & A24L Floor Plans HT-A30-A24-A30-A37-03 REV A
HT A30 & A24 Elevations HT-A30-A24x2-01 REV A
HT A30 & A24 Floor Plans HT-A30-A24x2-02 REV -
HT A30 & A24 Elevations HT-A30x2-A24-01 REV A
HT-A30 & A24 Floor Plans HT-A30x2-A24-02 REV -
HT A37 & A24 Elevations HT-A37-A24x2-01 REV A
HT A37 & A24 Floor Plans HT-A37-A24x2-02 REV -
HT A37 & A30 Elevations HT-A37-A30x2-01 REV A
HT A37 & A30 Floor Plans HT-A37-A30x2-02 REV A
HT A40L Front Elevation HT-A40Lx2-01 REV A
HT A40L Floor Plans HT-A40x2-02 REV A

Received 3rd May 2019

Adoptable Drainage Details L456-21

Reason:

For the avoidance of doubt.

9. Sustainable Drainage

The proposed Sustainable Drainage Strategy shall be implemented in accordance with the following approved Plans and Documents:

- Proposed Drainage Strategy Plan / Drwg No. L456/26 / Rev G
- Private Drainage Details / Drwg No. L456/SK38 / First Issue
- Adoptable Drainage Details / Drwg No. L456/21 / First Issue
- Outfall and Control Manhole Details / Drwg No. L456/40 / First Issue
- SuDS Maintenance and Management Plan / Issue 2/ Dated October 2019
- Micro drainage Calculations - Surface Water Drainage / File L456 04-09-19.MDX / Dated 09/09/2019
- Document 'Discharge of Condition 6' / Issue 1 / Dated May 2019
- Overlay Plan 2 Topographical Survey, OS Mapping, Title Plan and Location Plan / Drwg No. L456/02 / First Issue

Strategic Planning, South Gloucestershire Council, Department For Environment And Community Services, PO Box 1954, Bristol, BS37 0DD

Telephone: 01454 868004 Email: planningapplications@southglos.gov.uk

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Reason

To ensure that a satisfactory means of drainage is provided, and to accord with policy CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework.

10. Footpath Signage

Prior to the first use of Public Footpaths LWR/22 and LWR/21A full details of directional signage with their locations shall be submitted to and approved in writing by the Local Planning Authority. The applicant shall install the signage in accordance with the approved details prior to the first use of the footpaths.

For the avoidance of doubt the signage shall be clear (not worded but icon based) with the destination indicated at each end. Footpath way marking is generally in yellow.

Reason:

To ensure the provision of clear signposting and therefore the effective use of the footpaths to accord with Policy CS8 of the South Gloucestershire Local Plan Core Strategy 2013 and PSP10 of the South Gloucestershire Local Plan Policies Sites and Places Plan 2017

11. Street Lighting Plan

The Street Lighting shall be installed in accordance with the details set out on Drawing No. L456/27 Revision E (Street Lighting Plan)

Reason:

To protect the wildlife and the ecological interests of the site to accord with Policy CS9 of the adopted South Gloucestershire Local Plan Core Strategy 2013.

12. Materials/Samples

Prior to the commencement of that part of the development full details of external finishes shall be submitted to and approved in writing by the Local Planning

Authority. Development shall be carried out in accordance with the approved details.

The applicant is advised for the avoidance of doubt that the submitted details shall include the following:

Facing materials, including any bricks, render, cladding panels, timber cladding or stone (either recon or natural) - physical samples are required. On-site sample panels are required for significant areas of facing materials. If recon stone is one of the facing materials, the the coursing and jointing details also need to be submitted to the Local Planning Authority.

Boundary treatments, including any walls, railings, fencing including security fencing around the pumping station, (with any weather-proofing details). A good quality photo where similar treatments have been used will be acceptable, along with a clear technical specification

Public realm materials (excluding tarmac), including any paving (inc public paths), kerbs, edging, gravel-based systems with associated retaining structures (Brochure Details)

Windows and doors material and colour, with 1:50 scale technical drawing. Brochure images are acceptable provided these are clear (not pixelated) photos of the products specified. Drawing must show all recesses, reveals and associated elements, such as lintels and sills. Colours should be stated in RAL colour system.

All rainwater goods materials and colour, including guttering, downpipes and hoppers, and associated materials such as fascias and barge boards around eaves (Brochure).

- Mortar colour, to be submitted as a sample.
- Roofing materials, submission of physical samples.

A pre-commencement condition is required in order to avoid the need for future remedial action.

Reason

To ensure a satisfactory standard of external appearance and to accord with Policy CS1 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013; and the National Planning Policy Framework. A pre-commencement condition is required in order to avoid the need for future remedial action.

**IN ACCORDANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY PLANNING
(DEVELOPMENT MANAGEMENT PROCEDURE) ORDER 2015.**
POSITIVE AND PROACTIVE STATEMENT:

In dealing with this planning application the Local Planning Authority have worked with the applicant in a positive and proactive manner on seeking solutions to problems arising in the following ways: Negotiations have taken place to secure improvements to the proposal and the decision has been issued in an agreed timescale.

ADDITIONAL INFORMATION

1. This permission shall not be construed as granting rights to carry out works on, or over, land not within the ownership, or control, of the applicant.
2. You must obtain the prior written consent of the owner and occupier of any land upon which it is necessary for you to enter in order to construct, externally finish, decorate or in any other way carry out any works in connection with this

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development including future repairs/maintenance, or to obtain support from adjoining property. This permission does not authorise you to take such action without first obtaining this consent. Your attention is also drawn to the Access of Neighbouring Land Act 1992 and Party Wall Act 1996.

3. This Decision Notice grants planning permission. You are advised that it does not imply compliance with Building Regulations and it is essential that you contact the Council's Building Control Manager with regard to your proposals before proceeding.

PLEASE NOTE: The development hereby permitted must be implemented in accordance with plans hereby approved and any conditions specified above. The conditions may specify that works are to be carried out or details are required to be submitted for further approval, before all or part of the development is otherwise commenced. For further information regarding the discharge of Planning Conditions and the relevant forms please view "compliance with conditions" on our website, www.southglos.gov.uk If the permission is commenced without these requirements being fully met, or in any other manner, the development may be unauthorised and the permission invalidated. The council holds a definitive copy of this planning decision notice. You should be aware of the risk that subsequent copies of the decision notice may be subject to unauthorised alteration and if necessary you are advised to refer to the council for verification. The definitive copy can be viewed via the council's planning website.



DEVELOPMENT MANAGER;

DATE: 22nd November 2019



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PLANNING PERMISSION THE NEXT STEPS

Your Decision could be subject to conditions. It is essential that you comply with these conditions in order to protect your planning permission. If you have conditions requiring details to be submitted prior to the commencement of development then failure to discharge these conditions could invalidate your planning permission and result in enforcement action being taken against the development.

HOW TO APPLY TO DISCHARGE CONDITIONS ON YOUR PLANNING PERMISSION

If the condition requires you to agree something in writing with the Authority before development commences then you will need to consider submitting these details at least 8 weeks prior to starting work. In order to submit your application, you can do so by one of the following options:

- Submit an online application using the Planning Portal online application service www.planningportal.gov.uk/
- Complete an application form online via the Planning Portal online Application service, www.planningportal.gov.uk/ printing it off and enclosing it with the correct plans, fee and details before sending it to Development Services.
- Download a copy of the application form from the South Gloucestershire website on www.southglos.gov.uk/planning.
- Request a paper copy from our PT&SE Customer Contact Centre by calling 01454 868004.
- Visit one of the Council One Stop Shop receptions to collect a paper copy of the application form.

The fee amount is £34 per request relating to 'householder' applications and £116 for any other full planning applications. The fee is payable for each submission (a single submission may be for more than one condition to be discharged).

COMMUNITY INFRASTRUCTURE LEVY (CIL)

If this application has been identified as being liable to CIL you should not commence development until the requirements and obligations under CIL have been established. If we require further information we will write to you requesting this. Where we already have clear information about the proposal and assumed liability we will issue a liability notice shortly. Further information can be found on our website at www.southglos.gov.uk/environment-and-planning/planning/community-infrastructure-levy

BUILDING REGULATIONS

You might require separate Building Control approval and you can also secure this through the Council. For advice on development requiring Building Regulations approval please visit the Planning Portal or contact our Team on 01454 868271

ACTING AS AN AGENT?

Please forward the full copy of this decision to your client and advise them of any conditions. The Council continues to be involved with enforcement action taken against applicants who claim not to have been passed the decision by their Agent.

APPEALS AGAINST THE DECISION OF THE LOCAL PLANNING AUTHORITY (LPA)

If the applicant is aggrieved by the decision to refuse permission/consent for this proposal or to grant permission/consent subject to conditions, he may appeal to the Secretary of State for the Department of Communities and Local Government (SOS) in accordance with the provisions below. All appeals should be submitted on a form obtainable from The Planning Inspectorate, at the address below.

- (a) Refusal of planning permission for **Householder applications – within 12 weeks** (Article 37 of the Town & Country Planning (Development Management Procedure) (England) Order 2015)
- (b) Refusal of planning permission or permission granted subject to conditions - **within 6 months** (Section 78 Town & Country Planning Act 1990 (T & CPA) and Article 37 of the Town & Country Planning (Development Management Procedure) (England) Order 2015)
- (c) Refusal of Listed Building consent or consent granted subject to conditions. Refusal of Conservation Area consent or the decision of the LPA on an application to vary or discharge conditions attached to a Listed Building consent **within 6 months** (Regulation 8 of the Town & Country Planning (Listed Buildings and Conservation Areas) Regulations 1990 and Section 20 of the Planning (Listed Buildings and Conservation Areas) Act 1990.
- (d) Refusal of consent for display of advertisement or consent granted subject to conditions - **within 8 weeks** of the date you receive the Council's decision - please refer to separate notice attached where necessary.
- (e) Refusal of Tree Preservation Order consent or consent granted subject to conditions. Issuing of an Article 5 certificate on refusing consent or an Article 6 direction on granting consent to fell any part of a woodland – within 28 days Town & Country Planning (Trees) Regulations 2012.

The SOS has power to allow a longer period for the giving of a notice of appeal but will not normally be prepared to exercise this power unless there are special circumstances which excuse the delay in giving notice of appeal. He is not however required to entertain an appeal if it appears to him that permission for the proposals could not have been granted by the LPA, or could not have been granted otherwise than subject to the conditions imposed by them, having regard to the statutory requirements, to the provisions of the development orders and to any directions given under the orders.

In the case of refusal of permission to develop land or refusal of Listed Building consent or the granting of permission or Listed Building consent subject to conditions whether by the LPA or SOS and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development works which has been or would be permission, he may serve on the Council in which the land is situated a Purchase Notice (or Listed Building Purchase Notice) requiring the Council to purchase his/her interest in the land in accordance with the provisions of Part VI, Chapter 1 of the Town & CP Act 1990 and Part 1, Chapter III of the Planning (Listed Buildings and Conservation Areas) Act 1990.

In certain circumstances (not applicable to Advertisement proposals) a claim may be made against the LPA for compensation where permission is refused or granted subject to conditions by the SOS on appeal or on reference of the application to him.

If you intend to submit an appeal that you would like examined by inquiry then you must notify the Local Planning Authority and Planning Inspectorate (inquiryappeals@planninginspectorate.gov.uk) at least 10 days before submitting the appeal. [Further details are on GOV.UK](https://www.gov.uk).

NOTES IN RESPECT OF SUBMISSION OF APPEALS

Data Protection: Please note all appeal documentation will appear on the Planning Casework Service website.

When submitting an appeal, please note that an identical set of documents should be sent to both the local authority and The Planning Inspectorate at the following addresses:

Strategic Planning
South Gloucestershire Council,
Department For Environment And
Community Services
PO Box 1954, Bristol, BS37 0DD

The Planning Inspectorate
Room 3/04 Kite Wing
2 The Square Temple Quay
Bristol BS1 6PN

Please ensure this instruction is complied with in order to avoid any unnecessary delay

NOTES IN RESPECT OF APPLICATIONS FOR CONSENT TO DISPLAY ADVERTISEMENTS

1. Under the provisions of Schedule 2 of the Town & Country Planning (Control of Advertisements) Regulations 2007 before any advertisement is displayed, the permission of the owner of the land, or building on which the advertisement is to be displayed must be obtained.
2. If a conditions imposing a time limit has been expressly included as part of a consent, then that condition must be observed. If no such condition is imposed Regulation 14 (7) of the 2007 Regulations provides that any consent is granted for a period of FIVE YEARS from the date hereof.
3. Where the Authority grant consent for a period shorter than five years they shall (unless the application required such a consent) state in writing their reasons for doing so, and the limitation in respect of time shall for the purposes of these Regulations be deemed to be a condition imposed upon the granting of consent.
4. At any time a period of 6 months before the expiry of a consent granted under these Regulations, application may be made for the renewal thereof and the provision of these Regulations relating to applications for consent and to the determination thereof shall apply where application is made for such renewal
5. Penalty for Contravention. The amount of the fine to which a person who displays an advertisement in contravention of these Regulations is liable on summary conviction as set out in Section 224 of the Town and Country Planning Act 1990 and Regulation 30 of the 2007 Advertisement Regulations.

NOTES IN RESPECT OF ALL APPLICATIONS

1. Attention is drawn to the need for strict compliance with the approved plan(s), failing which appropriate action will be taken.
2. If planning permission has been granted for the development, please note that

should this involve any work within the highway, such as the construction of a vehicular access, the consent of the Highway Authority should be obtained.

3. WHERE PLANNING PERMISSION OR LISTED BUILDING CONSENT HAS BEEN GRANTED, APPROVAL MAY ALSO BE REQUIRED UNDER THE BUILDING REGULATIONS BEFORE ANY WORK IS COMMENCED.
4. Although planning permission may have been granted, should the proposed work involve the demolition, alteration or extension of a Listed Building or the demolition of an existing building in a Conservation Area, Listed Building or Conservation Area Consent will also be required before the work commences.
5. If the work authorised by this permission requires the supply of utility or other public services, you are requested to contact the appropriate statutory or other undertaker as soon as possible following the receipt of the decision. Failure to do so may result in delay in the provision of these services.
6. If planning permission has been granted this may be subject to condition(s) as listed on the decision notice. Some of these conditions require details to be submitted or other work to be carried out before development commences (conditions precedent). If you start development without complying with any such conditions you may invalidate the permission itself. Requests to discharge or confirm conditions made under Article 27 of the Town and Country Planning (Development Management Procedure) (England) Order 2015 should be submitted on the appropriate forms and with any required fee.

Any further information concerning this decision may be obtained from the Director of Environment and Community Services Please quote the Reference Number of this permission in any correspondence