



**LIST OF PLANNING APPLICATIONS AND OTHER PROPOSALS
SUBMITTED UNDER THE PLANNING ACTS TO BE DETERMINED BY
THE DIRECTOR OF ENVIRONMENT AND COMMUNITY SERVICES**

CIRCULATED SCHEDULE NO. 20/16

Date to Members: 20/05/16

Member's Deadline: 26/05/2016 (5.00 pm)

The reports listed over the page form the 'Circulated Schedule' a procedure agreed by the Planning and Transportation Committee on 21 November 1996. The procedure is designed to increase the effectiveness and efficiency of the Development Control Service. Under the arrangement reports are circulated on a weekly basis.

The reports assess the application, consider representations which have been received, and make a recommendation regarding the proposal. The procedure is designed to ensure that Members are aware of any concern expressed by interested parties in their ward and indicate a recommendation.

Having considered the reports, those applications that Councillors feel should be referred to an appropriate Area Development Control Committee must be notified to the Development Control section **by email within five working days of the publication of the schedule (by 5pm)**. If there has been no member request for referral within the time period, the decision notices will be issued in line with the recommendation in this schedule. **Before referring an item to the Committee, Members may wish to speak to an officer about the issue, in order that any problems can perhaps be resolved without the need for referral to a Committee**

**PLEASE NOTE: THE CIRCULATED SCHEDULE PROCESS IS ONLY OPEN
TO THE ELECTED MEMBERS OF SOUTH GLOUCESTERSHIRE COUNCIL.**

NOTES FOR COUNCILLORS - FORMAL ARRANGEMENTS

If any Member requires any of the proposals listed in the Schedule to be considered by the appropriate Development Control Committee, please let the Director of Environment of Community Services know within 5 working days of the date of this Schedule (e.g., if the schedule is published on a Friday, comments have to be received by the end of Thursday) (see cover page for the date).

To refer an application(s) members are asked to email MemberReferral@southglos.gov.uk providing details of

- Application reference and site location
- Indicate whether you have discussed the application(s) with the case officer and/or area planning manager
- Indicate whether you have discussed the application(s) with ward member(s) if the site is outside of your ward
- The reason(s) for the referral

The following types of applications may be determined by this Circulated Schedule procedure:

All applications and related submissions not determined either by the Development Control Committees or under delegated powers including:

- a) Any application submitted by or on behalf of the Council.
- b) Any application requiring either new or a modification to an existing planning agreement, provided that the application is not required to be determined by Committee.
- c) Any footpath diversion required to implement an approved scheme.
- d) Applications, except those where approval is deemed to be granted upon the expiry of a defined period, where a representation contrary to the Officers recommendation are received.
- e) Applications for Certificates of Appropriate Alternative Development where a representation contrary to the Officer's recommendation is received.
- f) Applications for Certificates of Lawful Use of Development

GUIDANCE FOR 'REFERRING' APPLICATIONS

Members are entitled to refer any application for consideration by the relevant DC Committee or Sites Inspection Committee, before a decision has been made. However as call-ins will delay the decision on an application and in the interests of improving the effectiveness and efficiency of the Development Control service, this option should only be exercised after careful consideration. Members are therefore asked to take account of the following advice:

- Before referring an application always speak to the case officer or Area Planning Manager first to see if your concerns can be addressed without the application being referred.
- If you are considering referring in an application outside the ward you represent, as a courtesy, speak to the ward member(s) to see what their views are, before referring the application.
- Always make your referral request as soon as possible, once you have considered all the application details and advice of the case officer. **Please do not leave it to the last minute**
- Always make your referral request by e-mail to MemberReferral@southglos.gov.uk, where referrals can be picked up quickly by the Development Management Technical Support Team. Please note a copy of your referral e mail will appear on the website. **If in exceptional circumstances, you are unable to e-mail you request, please contact 01454 863519, well in advance of the deadline, to discuss alternative arrangements to ensure your response can be received.**
- When you refer an application, make clear what the planning reasons are for doing so. This will help the case officer and other members give attention to the specific issues you have raised.
- It may also allow officers to seek to negotiate with the applicant to overcome the Member's concerns and therefore removing the need for a Committee determination.

Dates and Deadlines for Circulated Schedule
During the May Bank Holidays 2016

Schedule Number	Date to Members 9am on	Members Deadline
21/16	Thursday 26 May 2016	Thursday 02 June 2016 5pm

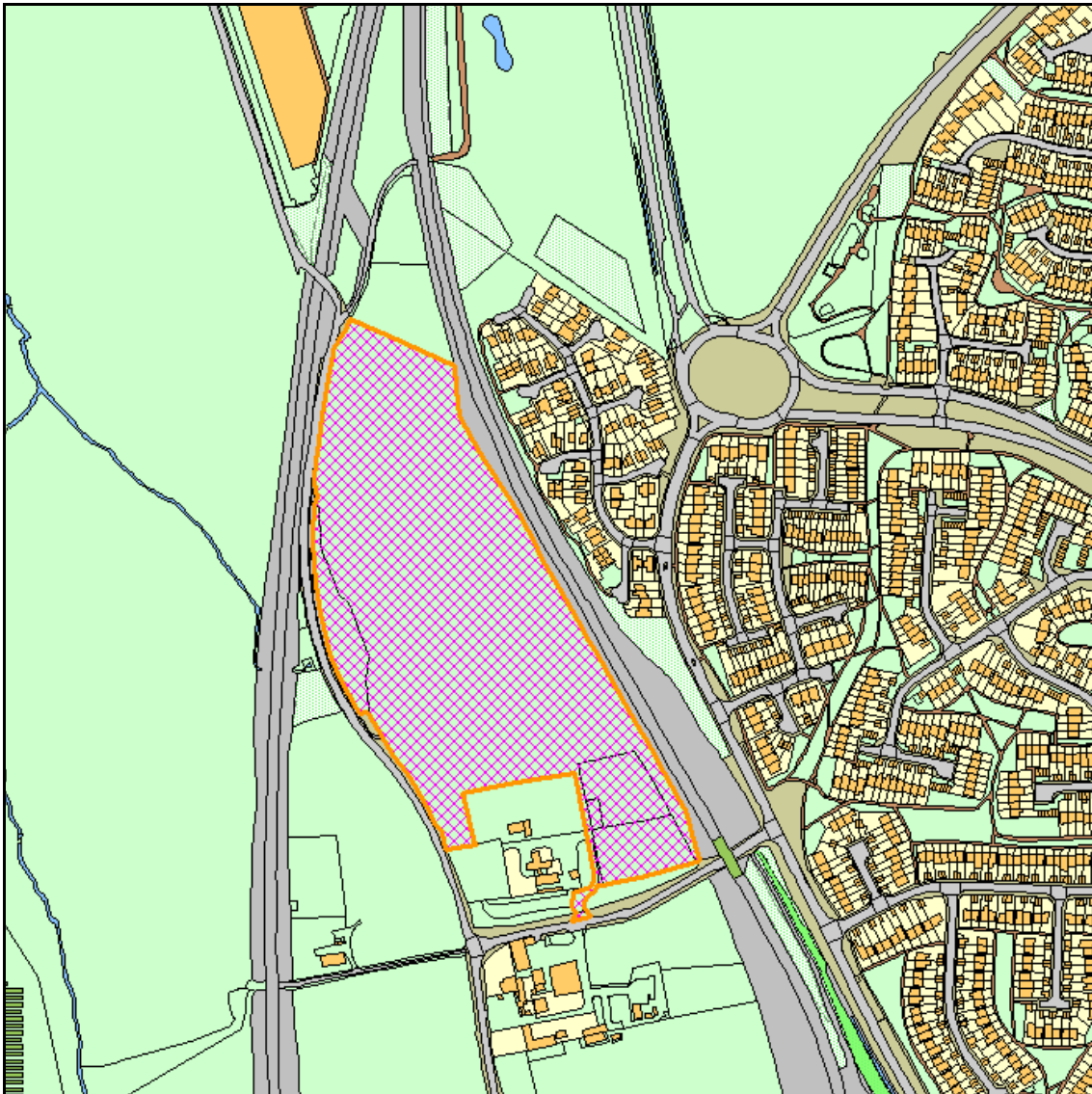
For clarity I have highlighted changed deadlines in RED.
All other dates remain as usual.

CIRCULATED SCHEDULE - 20 May 2016

ITEM NO.	APPLICATION NO	RECOMMENDATION	LOCATION	WARD	PARISH
1	PK15/5166/MW	Approve with Conditions	Beech Hill Farm Shorthill Road Westerleigh South Gloucestershire BS37 8QF	Westerleigh	Westerleigh Parish Council
2	PK16/0900/F	Approve with Conditions	Madrigal Cottage Lansdown Lane Bitton South Gloucestershire BS30 6NF	Bitton	Bitton Parish Council
3	PK16/1183/F	Approve with Conditions	154 Sundridge Park Yate South Gloucestershire BS37 4DX	Yate Central	Yate Town
4	PT15/5008/FDI	Approve	Land East Of Coldharbour Lane Stoke Gifford South Gloucestershire BS16 1UX	Frenchay And Stoke Park	Stoke Gifford Parish Council
5	PT16/0043/F	Approve with Conditions	Rear of The Paddocks New Road Rangeworthy South Gloucestershire BS37 7QH	Ladden Brook	Rangeworthy Parish Council
6	PT16/0832/RM	Approve with Conditions	Parcels 41-46 And 49 Charlton Hayes Filton South Gloucestershire	Patchway	Patchway Town Council
7	PT16/1208/F	Refusal	Cedar Cottage New Road Tytherington South Gloucestershire GL12 8UP	Ladden Brook	Tytherington Parish Council
8	PT16/1512/F	Approve with Conditions	34 Chiltern Park Thornbury South Gloucestershire BS35 2HX	Thornbury South And	Thornbury Town Council
9	PT16/1528/F	Approve with Conditions	80 Lower Chapel Lane Frampton Cotterell South Gloucestershire BS36 2RH	Frampton Cotterell	Frampton Cotterell Parish Council
10	PT16/1959/TRE	Approve with Conditions	35 Wolfridge Ride Alveston South Gloucestershire	Thornbury South And	Alveston Parish Council
11	PT16/1961/TRE	Approve with Conditions	74 Kelbra Crescent Frampton Cotterell South Gloucestershire BS36 2TS	Frampton Cotterell	Frampton Cotterell Parish Council

CIRCULATED SCHEDULE NO. 20/16 – 20 MAY 2016

App No.:	PK15/5166/MW	Applicant:	Mrs Deborah Martin
Site:	Beech Hill Farm Shorthill Road Westerleigh Bristol South Gloucestershire BS37 8QF	Date Reg:	23rd December 2015
Proposal:	Importation of clay, subsoil and topsoil to improve land for agricultural use	Parish:	Westerleigh Parish Council
Map Ref:	369932 180942	Ward:	Westerleigh
Application Category:	Major	Target Date:	18th March 2016



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100023410, 2008. **N.T.S.** **PK15/5166/MW**

REASON FOR REPORTING TO CIRCULATED SCHEDULE

This application appears on the Circulated Schedule, as a result of consultation responses received, contrary to Officer recommendation.

1. THE PROPOSAL

- 1.1 The application is for the importation of clays, subsoils and topsoils for the stated purpose of improving the land for agricultural use. The site has been previously tipped with household refuse in around the 1970's and partially reinstated in the 1980's. It is considered that the site has not been capped adequately and that previous attempts at restoration were not of a sufficient standard, as a result the issues associated with the site's former landfill usage have not been fully remediated and that the site remains in a derelict and despoiled condition. The proposal would involve the importation of approximately 45000 cubic metres of material. The ground levels would be increased by a maximum of 2 metres. It is considered that the overall implementation period would be for a period of two years, and on this basis an average of 9-10 deliveries a day would be required, although movements would vary according to the availability of materials. The application is essentially a resubmission of PT11/0339/MW, which was approved on 14th September 2012. That permission has expired, unimplemented, and so a new application is required for the development. The application and accompanying details are the same as those previously approved. The application is accompanied by a Flood Risk Assessment, Site Investigation Report, Landscape and Ecological Report. The proposals have been formally screened under the current Environmental Impact Assessment regulations, whereby it was concluded that full EIA was not warranted or triggered by the development in this instance.
- 1.2 The area of land subject to this planning application is 4.5 hectares. The application does not cover any of the built part of Beech Hill Farm which lies immediately to the south. It lies on the western side of the main railway line to the south of Yate and north of Westerleigh village and currently consists of poor quality agricultural grassland. To the south the site is bounded by Westerleigh Road from which vehicle access exists to the site. To the east is the main railway line running upon an elevated embankment, which overlooks the site. To the north the site borders further small fields, beyond which is a further railway line. To the west Nibley Lane runs along the boundary, beyond which are open fields. The site is located within the designated Green Belt.

2. POLICY CONTEXT

- 2.1 National Guidance
National Planning Policy Framework
National Planning Policy Guidance
- 2.2 Development Plans
South Gloucestershire Local Plan (Adopted) January 2006
L1 Landscape
T12 Transportation
L17 The Water Environment

EP1 Environmental Pollution
EP6 Contaminated Land

South Gloucestershire Local Plan Core Strategy
CS1 High Quality Design

South Gloucestershire Minerals and Waste Local Plan
Policy 9 Waste Development in the Green Belt
Policy 44 Agricultural Land Improvement

West of England Joint Waste Core Strategy
Policy 8 and 9 Landfilling, Landraising and Engineering or Other
Operations
Policy 11 Planning Designations
Policy 12 General Considerations

3. RELEVANT PLANNING HISTORY

- 3.1 SG 8568/3 – Use of approximately 2 acres for refuse disposal. Approved 13 July 1973
- 3.2 P90/1529 – Change of use from agricultural use to eight paddocks. Withdrawn 4 June 1990.
- 3.3 P90/1945 – Use of approx. 17 acres of land for keeping of horses and construction of new vehicular access. Refused. 1 August 1990.
- 3.4 P96/1795 – Retention of agricultural storage building. Approved. 19 March 1997.
- 3.5 PT04/1182/F – Change of use from agricultural to farm shop and retention of land to be used for the storage of caravans. Refused. 1 June 2004. Refused on appeal. 17 March 2005.
- 3.6 PT05/2901/F – Use of land for storage of touring caravans. Refused. 17 November 2005.
- 3.7 PT07/2338/F – importation of clay, subsoil and topsoil to improve land for agricultural use. Refused. 16 March 2009.
- 3.8 PT11/0339/MW – Importation of clay, subsoil and topsoil to improve land for agricultural use. (Resubmission of PT07/2338/F). Approved 14th September 2012

4. CONSULTATION RESPONSES

- 4.1 Westerleigh Parish Council
No comments received

4.2 Dodington Parish Council

1) The application should be refused on the ground of traffic problems and disturbance to nearby properties. The alternative approach routes to site - Westerleigh Village and Nibley Lane have weight limits - meaning that all movements would come down through Dodington and Yate estate roads. Members recognise that movement of vehicles isn't going to be vast (10 / day for 2 years), but it is still a concern.

2) Should permission be approved members felt restricted hours should be imposed, avoiding worsening the dangerous junctions at Nibley Lane and Shire Way mini-roundabout at peak hours (ie before 0930 and after 1600 Mon - Fri).

3) Due to the history of flooding under the nearby railway bridge (due to the run off from adjacent land) a flood assessment should be carried out for the effects of the change in surface level on water reaching the adjacent Westerleigh Road and Nibley Lane.

4) Members are aware that there is a major floodwater drain running east-west under the site, which Network Rail is responsible for. They should be consulted.

5) No tipping should occur on the more visible south end of the site.

6) The road verge on the southern edge of the site - against Westerleigh Road - is subject to the impending construction of a major cycle path, and comments should therefore be sought from the relevant section of South Gloucestershire Council and the Cycling City project.

7) Members would also like assurance that wheel cleaning / washing of the HGVs will take place on site - so as to minimise the mud on road - leading to dangerous driving conditions

4.3 Other Consultees:

Natural England

No objection

Environmental Protection (Ground Contamination)

Desk Study and Ground Investigation Reports have been submitted with the application.

The conclusions of the reports are accepted. In order to prevent the importation of soils that could post a risk to health (based on proposed agricultural land use) or the environment a condition is recommended should consent be approved, relating to limiting infill to uncontaminated materials.

Environmental Protection (Local Amenity)

It is recommended that the applicant provides an acoustic report detailing how noise from the proposed development will impact on amenity of nearby residential properties

Sustainable Transportation

This application in essence seeks to renew a planning permission that was granted under reference PT11/0339/MW which expired on 14 September 2015.

In terms of traffic, and according to information submitted with the application, the restoration works would be carried out over a period of 2 years which would on this basis involve an average of 9-10 deliveries a day, although movements would vary according to the availability of materials.

In terms of access, it is proposed HGV's access the site from the direction of Westerleigh, excluding using Nibley Lane, and leave the site by turning left only. The previous approved application for the site included some works to the access and these were secured under a s106 legal agreement. The works include widening of the existing access to accommodate HGV movements. This requirement is still outstanding and needs to be completed in accordance with terms of the extant legal agreement between the landowner/applicant and the council.

In view of the above mentioned therefore, there is no highway objection to this application subject to:

Implementation of the access works in accordance with the details agreed under the earlier s106 legal agreement which can be varied to reflect the new application details.

Other Planning Conditions:

It is further recommended that all other [highway] conditions as agreed with the previous planning application no. PT11/0339/MW are imposed with the current application.

Landscape

There are no objections to this work on Landscape grounds

Archaeological Officer

There are no objections to this work on archaeological grounds.

PROW

The proposed works are unlikely to affect the nearest public footpaths namely LWE/10/30 just beyond the north west of the site and LWE/16/10 to the other side of Westerleigh Road at the South west of the site. The applicant/developer must be aware of the limitations regarding public rights of way and development.

Network Rail

After studying the details submitted and consultation with our Drainage Engineer, Network Rail objects to the above proposal for the following reason.

No information has been provided on what risks are posed to the railway and what mitigation is being planned/proposed for surface water run-off.

In order for Network Rail to withdraw the objection, we will require confirmation that all surface water will flow/be directed away from the Network Rail boundary.

We note the site is a former landfill for commercial waste and the applicant has commissioned Hydrock to carry out landfill gas testing and assessment at the site for which their findings have been published (ref: C151129-001).

Notwithstanding the findings within this report, Network Rail has some concerns regarding the proposals imparting increased risk for the migration of landfill gas or contaminants towards the controlled railway infrastructure from the historic landfill site, via any potential unidentified pathways. In order to maintain the safe operation and ongoing maintenance works of the railway infrastructure NR needs to be aware of such occurrences.

As part of any grant of this planning permission, NR's Mining team would request the following conditions are included:

- The applicant maintains landfill gas monitoring throughout the proposed restoration scheme.
- The results of ongoing landfill gas testing are released to NR's Mining Team, on request.

Until we have received the requested information, our objection to this proposal will remain.

Other Representations:

Local Residents

No comments

5. ANALYSIS OF PROPOSAL

5.1 Principle of Development

The site has historically been used as a landfill. Planning permission reference SG 8568/3 permits the use of part of the site for household refuse disposal. The restoration requirements of that consent however were merely to cover the site with topsoil to a maximum depth of 12 inches. It is not clear whether or indeed to what depth this requirement was implemented. The land has since remained in what is considered a partially restored state and returned to grassland in this condition and intermittently, but not recently, used as very low grade rough agricultural grazing land. These requirements for restoration, even if fully implemented, would not generally meet the requirements of existing restoration standards or be sufficient as a long term solution for the site. Trial pitting and land investigations have been undertaken and provided. This exercise concluded that the landfill was never formally capped and only a shallow depth of topsoil/subsoils was found to be on the site. Soil samples taken from the site highlighted the presence of elevated contaminants and beneath the soil layer a black loamy soil was encountered, possibly waste casting sand from a local foundry. It was considered that the site would be unsuitable for grazing or crops due to the chemical and physical contaminants present at the site. It is stated that depth of fill in the scheme the subject of these proposals is sufficient to cover the waste deposits and provide a clean capping layer to facilitate agricultural use. The report also identified that the northern area of the site was not subject to landfilling will not require additional fill cover and this is reflected in the submitted plans. The application is essentially a resubmission of PT11/0339/MW, which was approved on 14th September 2012. That permission has expired, unimplemented, and so a new application is required for the development.

The application and accompanying details are the same as those previously approved. It is not considered that the policy considerations or principles have altered significantly since the granting of the previous consent, these are discussed in more detail below.

- 5.2 Policy 8 of the Joint Waste Core Strategy cites circumstances where depositing waste material on land can be considered acceptable, these include for the purposes of improving land damaged or disturbed as a result of previous or existing uses. It is considered by virtue of the issues referred to in the paragraph above that the site can be considered damaged and disturbed land by virtue of previous uses.
- 5.3 Policy 8 also refers to the acceptability of depositing material to land where it would result in a demonstrable improvement in the quality of the land. Policy 44 of the SGMWLP also states that proposals for the improvement of agricultural land by the deposit of imported waste will be acceptable where the material used is inert, improvement can be demonstrated as necessary, other agricultural practices cannot achieve such improvement and a minimum volume of waste required for the improvement to achieve an appropriate is used landform. In these respects the applicants have commissioned an agricultural quality report from an independent specialist. The report concurs that the land is in poor condition resultant from previous activity and there is clear evidence of degradation, issues of former landfill material close to the surface, contamination of the topsoil layer and issues of undulation resultant from settlement leaving hollows and ridges. The agricultural land classification of the site is considered to be Grade 5, the lowest grade, indicating land of very poor quality. It is further concluded that the proposed works would reduce the current risk of contamination and significantly improve the cropping and productivity of the land for grazing or conservation with the land being able to be cultivated without the risk of bringing debris to the surface. Upon completion of the proposed works it is considered that the agricultural land classification would improve to Grade 3a. The policies referred to above therefore provide the framework for which the principle of such development is assessed in terms of acceptable locations (including derelict land, restoration and land improvement) and whether the benefits can be demonstrated and a satisfactory landform can be provided. It is considered that the proposals meet these broad policy principles. This would further need to be considered in the context of consideration with Green Belt policy and detailed development control policy, as discussed below.
- 5.4 Green Belt
The site is located in the Green Belt. The development needs to be considered firstly for its appropriateness within the Green Belt and whether it impacts upon the openness of visual amenity, or alternatively whether very special circumstances are demonstrated to exist for the site's location in the Green Belt in conjunction with the relevant Green Belt policies.
- 5.5 The previous tipping of the site has established the principle of waste use. A proposal for importation of material for the purposes of restoration of this site would be acceptable in Green Belt terms provided it was demonstrated as necessary in accordance with other policy requirements and provided the

landform was considered acceptable. The general principles of the development are discussed in more detail above.

5.6 The principle of the restoration and remediation of the Green Belt site has been established under the previous consent. It is not considered that there are any policy changes in this respect that alter this position. As an engineering operation for the purposes of restoration, the proposals are considered to accord with para 90 of the NPPF and as such appropriate within the Green Belt. The principle of development, as previously established, and as a remediation and restoration of an existing landfill in the Green Belt in this instance is therefore considered acceptable.

5.7 Landscape

The site currently consists of poor grassland. The site has been previously tipped with domestic waste with an inadequate cap, which will have been a major contributor to the poor nature and condition of the site. There are areas of settlement and poor drainage. The quality of the landscape in the area has been affected by previous tipping.

5.8 Existing vegetation along the western boundary with Nibley Lane and within the north of the site is retained. Previous consent acknowledged the acceptability of the principle of development in this respect. It is considered that the proposals remain acceptable in landscape terms and represent an improvement to the area taking into account the landform and associated planting requirements that can be conditioned to improve upon and reinforce the vegetation across the site.

5.9 Local Amenity/Environmental Protection

The proposals seek to address an identified problem with the existing site in terms of its condition resultant from previous landfill use. The addition of a sufficient cap and subsequent sufficient layers of clean material will serve to contain the site and prevent further or future contamination or leachate at the surface. There are no objections in principle from the Council's Environment Health Officer. The applicants have submitted additional Ground Investigation Reports, including additional Landfill Gas generation reports, and these are considered acceptable and sufficiently address any contamination and gas migration concerns from the existing site in this respect. Whilst therefore the concerns of Network Rail are noted, taking into account the level of information and investigations provided, additional conditions relating to landfill gas are not considered warranted or meet the relevant tests for applying planning conditions in this instance. Conditions have however been recommended to ensure the nature of material imported to the site is acceptable.

5.10 In terms of general amenity, the nearest residential properties are located to the north of the site in Chedworth, a residential road off Shireway, Yate, the nearest being approximately 30 metres. These properties are located on the other side of the railtrack and associated embankment. The embankment would effectively provide a barrier to aid the screening of the proposal both visually and in terms of noise. The operations themselves would consist of the importation and placing of restoration materials.

The only source of noise arising from the proposal will be the activity of unloading and placing materials to the approved levels. Previous consent acknowledged the acceptability of the principle of development in this respect. The principle of the proposals is therefore established. Given the nature and location of the site, the nature of the proposals, and taking into account previous approvals, it is not considered that in this instance an acoustic report is required or justified. A condition limiting operational hours would satisfactorily control any potential impact upon the locality. The proposed hours of operation would be 08.00 to 18.00, Mondays to Fridays and 08.00 to 13.00 on Saturdays. These measures reflect those previously approved in order to protect the amenities of the locality.

5.11 Drainage

A Flood Risk Assessment has been submitted in support of the application. The principle of the proposals have been previously established. A requirement for a detailed scheme of surface water drainage works will remain as a recommended condition of any permission in order to satisfactorily manage any drainage requirements. The restoration proposal has been designed with a land form that falls to the west, away from the railway. It should be noted that additional or increased flows of surface water are not permitted to be discharged onto Network Rail land or it's own culvert or drains.

5.12 Transportation

In terms of traffic, and according to information submitted with the application, the restoration works would be carried out over a period of 2 years which would on this basis involve an average of 9-10 deliveries a day, although movements would vary according to the availability of materials. In terms of access, it is proposed HGV's access the site from the direction of Westerleigh, excluding using Nibley Lane, and leave the site by turning left only. The previous approved application for the site included some works to the access and these were secured under a s106 legal agreement. The works include widening of the existing access to accommodate HGV movements. This requirement is still outstanding and needs to be completed in accordance with terms of the extant legal agreement between the landowner/applicant and the council. This is highlighted in the recommendations below. The principle of the proposals remain acceptable and subject to previous conditions relating including hours of operation, routing agreement, and wheelwash facilities, there are no highways objections to the proposals.

- 5.13 A proposed cycle route, referred to as Cycling City Route No.15, from Coxgrove Hill to Yate, approved under reference PK10/0404/R3F, crosses the access point to the application site. Works have now commenced on this route. As per the previous permission, should the development the subject of this application, coincide with the completion of proposed cycle track in this location, mitigation will be necessary to ensure that both uses co-exist for the remainder of the duration of the application works. This would be undertaken through an approved scheme of traffic signage and access improvements. As the access would be in part on highways land this would also need to be secured through a legal agreement. Details of this are also provided in the recommendations.

5.14 Ecology

The site is not covered by any statutory or non-statutory nature conservation designations. An ecological assessment has been undertaken for the site and an ecological report provided which surveys the site as existing and proposes mitigation and improvement to ecological interest. This report informs an ecological strategy for the site. This strategy is acceptable to the Council's ecological Officer, and should be implemented in accordance with the details submitted.

6. CONCLUSION

6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.

6.2 The recommendation to grant permission has been taken having regard to the policies and proposals in the South Gloucestershire Local Plan (Adopted) January 2006, the South Gloucestershire Minerals and Waste Local Plan and the Joint Waste Core Strategy and the South Gloucestershire Local Plan Core Strategy Adopted December 2013 and the provisions of the NPPF. Conditions recommended will reflect those of the previous consent except where they are considered unnecessary, where satisfactory information has been provided to address the requirements, or where it is considered that they should be updated for the purposes of this permission.

7. RECOMMENDATION

7.1 1) That authority be delegated to the Director of Environment, and Community Services to grant planning permission, subject to the conditions set out below and the applicant first voluntarily entering into a further agreement under Section 106 of the Town and Country Planning act 1990 (as amended), to reflect the different parties involved and to secure the following:

- i) access improvements and subsequent restoration upon completion of the development
- ii) mitigation scheme should the implementation of the development coincide with the implementation of the approved cycle route

2) Should the Legal Agreement not be completed within 6 months from the date of this decision, then a further recommendation, on the basis of the requirements of the Section 106 Agreement not having being met, be made.

Contact Officer: Simon Ford
Tel. No. 01454 863714

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

To comply with the requirements of Section 91 of the Town & Country Planning Act 1990 (as amended).

2. The importation of material for the purposes of the development hereby authorised shall cease on or before the expiry of two years from the commencement date. Thereafter remaining restoration works, contouring and planting shall be completed within a further 3 months.

Reason

In the interests of local amenity and to accord with Policies 11 and 12 of the Joint Waste Core Strategy.

3. No operations shall take place, no lorries shall enter or leave the site and no plant or machinery shall be operated other than between the hours of 08.00 - 18.00 hours, Monday to Friday and 08.00 - 13.00 hours on Saturdays.

Reason

In the interests of local amenity, and to accord with Policy 12 of the Joint Waste Core Strategy.

4. Prior to the commencement of the development hereby permitted details of wheel washing facilities and on site turning areas shall be submitted to the Council for written approval and thereafter implemented for the duration of the development.

Reason 1

In the interests of local amenity and highway safety and to accord with Policy 12 of the Joint Waste Core Strategy.

Reason 2

This is a pre-commencement condition to ensure that wheelwashing is addressed in the development at the earliest stage.

5. Prior to the commencement a routing agreement illustrating HGV movements associated with the development shall be submitted to the Council for written approval. Such a scheme shall provide for a one way system whereby HGV's arriving shall turn left into the site and HGV's exiting the site shall turn left out of the site.

Reason 1

In the interests of local amenity and highway safety and to accord with Policy 12 of the Joint Waste Core Strategy.

Reason 2

This is a pre-commencement condition to ensure that routing is addressed within the development from the earliest stage

6. Prior to the commencement of the development hereby permitted a dilapidation survey shall be submitted to the Council for written approval, any remedial works as a direct result of the development shall be undertaken at the cessation of the restoration works to the satisfaction of the Council.

Reason 1

In the interests of local amenity and highway safety and to accord with Policy 12 of the Joint Waste Core Strategy.

Reason 2

This is a pre-commencement condition to ensure that the roads are assessed at the beginning of the development.

7. Nothing other than uncontaminated excavated natural materials shall be deposited on the site.

Reason

In the interests of local amenity, to prevent pollution to the water environment and to provide for a satisfactory restoration of the site, in accordance with Policy 44 of the South Gloucestershire Minerals and Waste Local Plan and Policies 8, 9 and 12 of the Joint Waste Core Strategy.

8. Prior to the commencement of the development hereby approved a detailed scheme for the provision of surface water drainage works shall be submitted to the Local Planning Authority for written approval. The drainage works shall be completed in accordance with the approved details.

Reason 1

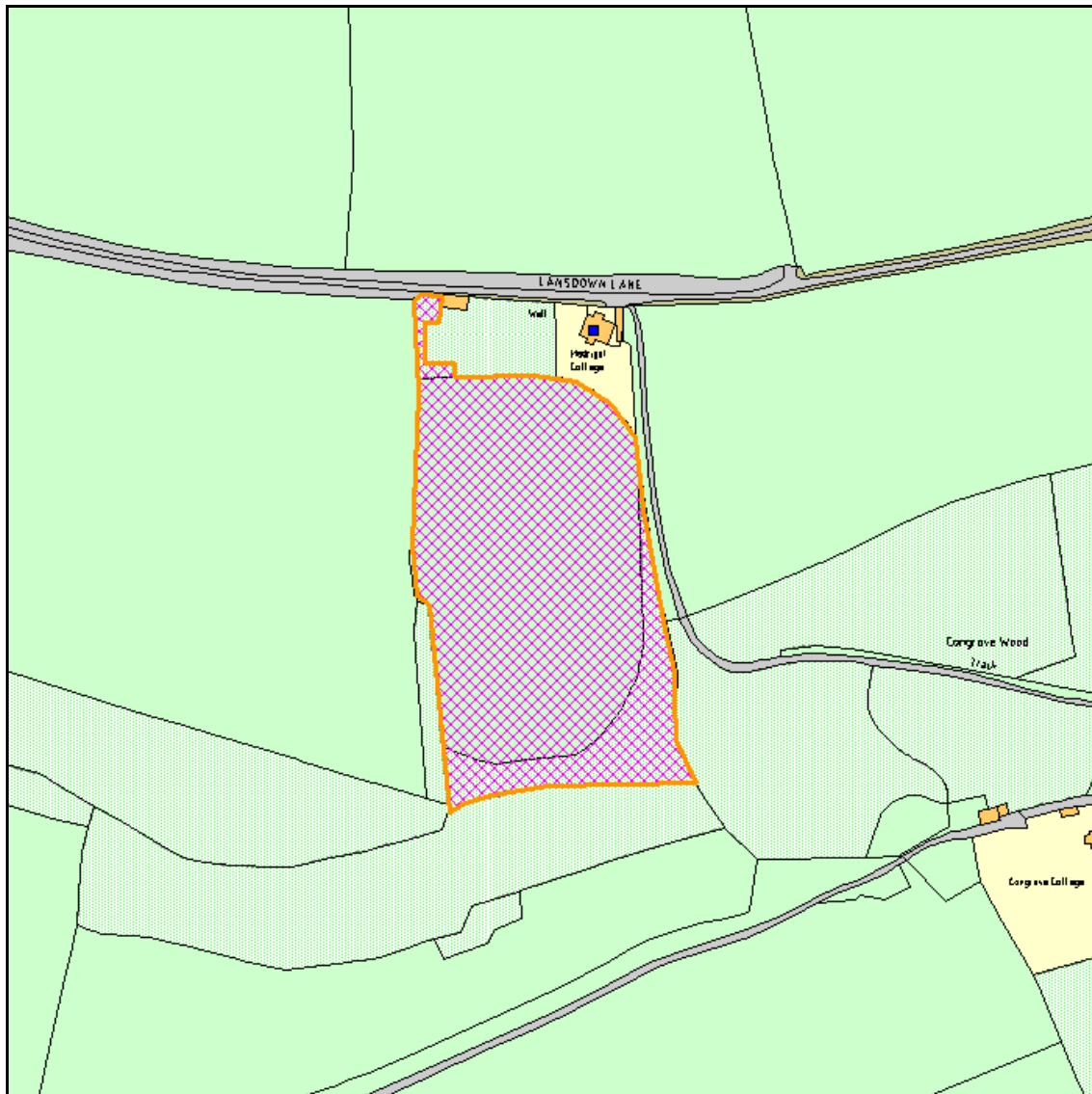
In the interests of ensuring a satisfactory means of drainage is provided and to accord with Policy 12 of the Joint Waste Core Strategy.

Reason 2

This is a pre-commencement condition in order to address drainage aspects of the proposals at an early stage.

CIRCULATED SCHEDULE NO. 20/16 – 20 MAY 2016

App No.:	PK16/0900/F	Applicant:	Mr And Mrs Hunter
Site:	Madrigal Cottage Lansdown Lane Bitton Bristol South Gloucestershire BS30 6NF	Date Reg:	4th March 2016
Proposal:	Change of use of land from agricultural to land for the keeping of horses. Erection of stable block	Parish:	Bitton Parish Council
Map Ref:	370770 169951	Ward:	Bitton
Application Category:	Major	Target Date:	1st June 2016



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REASON FOR REPORTING TO CIRCULATED SCHEDULE

This application appears on the Circulated Schedule as it represents a departure from relevant Green Belt Policy within the adopted Development Plan.

In this case any resolution to grant planning permission for this development does not need to be referred to the Secretary of the State for Communities and Local Government as the development is not of a large enough scale and it would not have a significant impact on the openness of the Green Belt (referral criteria is set out in the Departure Direction 2009).

1. THE PROPOSAL

- 1.1 The applicant seeks full planning permission for the change of use of land from agricultural to the keeping of horses (as defined in the Town and Country Planning (Use Classes) Order 1987 (as amended) and the erection of a stable block within the residential garden.
- 1.2 The land is located off Lansdown Lane, Bitton, within the Bristol/Bath Green Belt and outside any defined settlement boundary. It is therefore within open countryside and also the Cotswolds AONB. The land is approximately 1.47 hectares.
- 1.3 A recent planning permission was granted for the demolition of Madrigal Cottage and the erection of a replacement and slightly larger dwelling. In addition pre-application advice was sought and given for the erection of a stable and the change of use of the adjoining field from agriculture to the keeping of horses. That pre-application advice has provided the basis for this current application.

2. POLICY CONTEXT

2.1 National Guidance

National Planning Policy Framework March 2012

National Planning Practice Guidance April 2016

2.2 Development Plans

South Gloucestershire Local Plan (Adopted) January 2006 (saved policies)

L1	Landscape Protection and Enhancement
L2	Cotswolds AONB
L9	Species Protection
L16	Protecting the Best Agricultural Land
EP2	Flood Risk Development
H3	Residential Development in the Countryside
H4	Development within Existing Residential Curtilages
H11	Replacement Dwellings in the Countryside
H10	Horse Related Development
EP2	Flood Risk and Development
T12	Transportation
LC5	Proposals for Outdoor Sports and Recreation outside Existing Urban Area and Defined Settlement Boundary

LC12 Recreational Routes

South Gloucestershire Local Plan Core Strategy Adopted December 2013

CS1 High Quality Design
CS4a Presumption in Favour of Sustainable Development
CS5 Location of Development
CS8 Improving Accessibility
CS9 Managing the Environment and Heritage
CS16 Housing Density
CS17 Housing Diversity
CS34 Rural Areas

2.3 Supplementary Planning Guidance

South Gloucestershire Design Checklist (Adopted 2007)

South Gloucestershire Supplementary Planning Document: Green Belt (Adopted) 2007

South Gloucestershire Landscape Character Assessment (adopted Nov 2014)

LCA 3 Ashwick Ridges

Residential Parking Standards SPD (Adopted) 2013

3. RELEVANT PLANNING HISTORY

- 3.1 PRE14/0710 Erection of new garage and extension of existing building
Response given 12.5.14
- 3.2 PRE14/1482 Erection of a replacement dwelling following the demolition of the existing dwelling and associated buildings.
Response given 12.11.14
- 3.3 PK15/2735/F Demolition of existing dwelling and its associated buildings and erection of 1 no. replacement dwelling with access and associated works.
Approved 22.6.15
- 3.4 PRE15/1269 Erection of a stable
Response given 28.10.15

4. CONSULTATION RESPONSES

4.1 Bitton Parish Council
No objection

4.2 Other Consultees

Sustainable Transport

No objection subject to a condition limiting the number of horses on site to two and that the site shall not be used for commercial livery or as a riding school.

Highway Structures

No objection

Drainage and Flood Risk Management

No objection

Landscape officer comments summarised:

No objection subject to a condition.

Other Representations

4.3 Local Residents

None received

5. ANALYSIS OF PROPOSAL

5.1 Principle of Development

In the first instance the proposal must be considered in the light of current Green Belt Policy. The primary policy consideration is guidance contained in the NPPF. Design and siting for the stables will be covered by Policy CS1 High Quality Design and CS5 Location of Development, Policy H4 covers impact on residential amenity and the impact on the surrounding landscape and character of the site will be covered by Policies L1 and L2 Cotswolds AONB.

5.2 Turning to consideration of the Green Belt: The application includes the change of use of agricultural land to land for the recreational keeping of horses, but the change of use of land does not fall within the NPPF list of appropriate forms of development and recent case law has in fact established that the change of use of land is inappropriate. Inappropriate development is by definition harmful to the Green Belt and as such very special circumstances are required to show that the proposal would outweigh any harm by reason of definition and harm to the openness of the area. These are discussed below and are considered to be sufficient to outweigh the perceived harm. The proposal would therefore be acceptable in principle. Following on from this, the erection of buildings for outdoor recreation can be regarded as being acceptable development in the Green Belt and it is considered that the stable block to be erected within the residential curtilage and which would accommodate 2no. horses plus a tack room is appropriate in principle.

5.3 The proposal must also satisfy Policy T12 Transportation Development Control.

5.4 Horse related development policy is also relevant to this proposal and is covered in this report by saved Policy E10 Horse Related Development and Policy LC5 Proposals for Outdoor Sports and Recreation outside Existing Urban Area and Defined Settlement Boundary.

5.5 If the proposal is in accordance with all these policies the development should be approved unless other material considerations indicate otherwise.

5.6 Impact on the Green Belt and surrounding landscape and very special circumstances

The NPPF declares that one of the beneficial uses of the Green Belt is to provide opportunities for outdoor sport and recreation. The proposal for the change of use of land for the keeping of horses for recreational use would therefore be in accordance with this ethos. The proposal can therefore be given considerable weight in this respect. Furthermore, it is considered that the change of use of the land would not have a materially greater impact upon the openness of the Green Belt than the existing authorised use as agricultural; again this is given considerable weight in favour of the proposal. In addition, the site is distinctly rural and as such the keeping of horses would not be out of character. Appropriate conditions limiting for example business use and horse related equipment stored on the land can ensure the openness is maintained and protect the surrounding landscape. These conditions will also ensure the development has minimum impact on the natural beauty of the landscape and does not cause harm to land that lies within the Cotswold AONB. The creation of the new access and turning area close to the dwelling is necessary to allow farm vehicles (and others) to park off the road and to turn on site.

5.7 It is considered that the above reasons amount to very special circumstances sufficient to outweigh any harm to the Green Belt by reason of definition and harm to the openness of the area.

5.8 Turning to the erection of the stable block, the NPPF states the construction of new buildings inside the Green Belt is not inappropriate development if the development relates to an appropriate facility for outdoor sport and recreation, as long as it preserves the openness of the Green Belt. It is considered that the stables are modest in size, adequate for 2no. horses and would be located in the bottom west corner of the residential garden, close to the field beyond and to the south, subject to the change of use. It is noted that one of the existing buildings on site was historically a stable building, but due to its dilapidated condition is to be demolished as part of the recently approved scheme PK15/2735/F. At the time of the Officer's site visit this building was still *in situ* and as part of the argument for the introduction of a new stable block it is acceptable to consider the current situation. Following discussions with the Landscape Architect regarding planting and screening, it is considered that the building could be sufficiently screened and would have minimal impact on the openness of the Green Belt.

. 5.9 Given the above it is considered that the change of use of the land to the keeping of horses, the erection of the stable block would not cause harm to the Green Belt, the surrounding landscape and Cotswold AONB and thereby accords with the NPPF and Policy L2. The proposal can therefore be recommended for approval

5.10 Design and Visual Amenity

The proposed stable building would have an overall footprint of 52 sq m and a volume of 227 sq m. It would be constructed of rubble stone with vertical timber shutters, door and corner posts, a shingle roof and dressed stone details. The rear of the building will cut into the slope of the landscape and internally would comprise two stalls and a tack storeroom.

Access to the stable would be from an existing pedestrian and vehicular access lane to the north of the building, directly onto Lansdown Lane.

- 5.11 It is noted that following pre-application advice the overall size of the stable has been reduced and the roof shape has been redesigned, thereby visually reducing the building's mass. The proposal includes an asymmetrical roof which further breaks down the form of the building and minimises the projection of the roof.
- 5.12 It is considered that the design, scale and massing of the stable are appropriate and the proposed materials would assist its successful integration into the landscape and area in general. In these terms the proposal is acceptable and can be supported.
- 5.13 Horse Related Development Policy
Policy E10 Horse Related Development and LC5 Proposals for Outdoor Sports and Recreation outside Existing Urban Area and Defined Settlement Boundary are the relevant horse related policies. These Policies support proposals for horse related development provided it does not have an unacceptable impact in relation to the environment, residential amenity, highway safety and horse welfare. Highway safety is dealt with below within the Transportation section.
- 5.14 It is noted that the stable block has room for 2no. horses. The general guidelines from the British Horse Society are that each horse should have between 1-1.5 acres of land; in this case the field is 3.6 acres which complies with the guidelines, a tackroom/store is incorporated within the stables where hay could be stored thus helping reduce the effects of long term grazing, giving the grass and ground a chance to recover and preventing overgrazing.
- 5.15 It is not considered that the stables would have any adverse environmental effects by means of noise, smells, flooding or disturbance due to its size and siting.
- 5.16 There are no residential properties in close proximity to the development other than the main house Madrigal Cottage and as such there would be no adverse impact on residential amenity and it would not prejudice the amenities of neighbours. .
- 5.17 The development therefore is considered to in accordance with the criteria listed in Policy E10 and Policy LC5 and can be recommended for approval subject to conditions regarding the number of horses and general use of the land.
- 5.18 Transportation issues
Access will be obtained via an existing field access and the field would be used for the recreational keeping of horses only and not for livery use or business purposes. Given the sites remote location and that Lansdown Lane is a single track lane with limited opportunities to pass, conditions will be required to restrict the number of horses and to ensure no livery or business use is carried out from the site, this is in the interests of highway safety.

- 5.19 Given the above it is considered that the proposal is acceptable, in accordance with Policy T12 and can be recommended for approval.
- 5.20 Landscape Assessment
The application site is located within the Ashwicke Ridge which it is noted in terms of its landscape characteristic is a complex area of ridges and valleys covered by a diverse and varied mix of agricultural fields and woodlands.
- 5.21 The surrounding landscape conforms closely to the landscape character area description of hedgerow network and scattered woodlands and appears to be relatively unspoilt. The sloping site has a southerly aspect with views to Keynsham in the southwest and towards the steep wooded escarpment of the Bath racecourse plateau to the southeast.
- 5.22 Given its sensitive location, it is essential that the proposal does not have a significant negative effect on the visual amenity of the area. It is appreciated that applicant appears to have largely taken on board the pre-application advice given in November 2015. The siting of the stable appears to respect the topography of the site, is set back in the garden area away from the field and the building materials are in keeping with the character of the area.
- 5.23 The submitted plans appear to show the loss of trees, one of which may be significant. It was therefore suggested that a tree report / survey would be required to ascertain the significance of these trees and to seek compensatory tree planting to mitigate the loss and this matter could be dealt with within the confines of the application. This tree planting could include hedgerow tree planting or the planting of tree(s) within the horse paddock which are protected by stock proof fencing. During the course of the application the applicant produced a tree survey but after discussions it was agreed that the information was not sufficient and a condition would still be attached to the decision notice.
- 5.24 In conclusion it is acknowledged that the applicant has endeavoured to fit the stable building in the landscape and acceptable subject to a condition regarding a tree planting scheme to compensate for the loss of trees. On this basis the scheme is supported.

6. CONCLUSION

- 6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.
- 6.2 The recommendation to **grant** permission has been taken having regard to the policies and proposals in the South Gloucestershire Local Plan (Adopted) January 2006 and the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013 set out above, and to all the relevant material considerations set out in the report.

6.3 The proposal represents a departure from the Development Plan as the recommendation for approval is made on the basis that very special circumstances have been demonstrated. The application has been advertised as a departure but it is not considered that a referral to the Secretary of State is necessary.

7. RECOMMENDATION

7.1 Planning permission is **granted** subject to the conditions set out below and the decision to be issued upon the expiry of the consultation period for the departure advertisement (10th June 2016).

Contact Officer: Anne Joseph
Tel. No. 01454 863788

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

To comply with the requirements of Section 91 of the Town & Country Planning Act 1990 (as amended).

2. At no time shall the development the subject of this permission be used for livery, riding school or other business purposes whatsoever.

Reasons:

a. To protect the character and appearance of the Green Belt and landscape in general, and to accord with Policy CS1, CS5 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted December 2013), and the saved Policy L1 and Policy E10 of the South Gloucestershire Local Plan (Adopted) 6th Jan 2006 and the requirements of The National Planning Policy Framework March 2012 and the South Gloucestershire Council SPD - 'Development in the Green Belt' June 2007.

b. In the interests of highway safety, and to accord with Policy CS8 of the South Gloucestershire Local Plan: Core Strategy (Adopted December 2013) and the saved Policies E10 and T12 of the South Gloucestershire Local Plan (Adopted) January 2006.

c. To protect the amenities of the occupiers of the nearby dwellings, and to accord with Policy CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted December 2013) and the saved Policy E10 of the South Gloucestershire Local Plan (Adopted) January 2006.

3. The number of horses kept on the site edged in red on the plans hereby approved shall not exceed 2 (two).

Reasons:

a. In the interests of the welfare of horses, to accord with the guidance of the British Horse Society; and the saved Policy E10 of the South Gloucestershire Local Plan (Adopted) 6th Jan 2006.

b. To protect the amenities of the occupiers of the nearby dwellings, and to accord with the saved Policy E10 of the South Gloucestershire Local Plan (Adopted) January 2006.

c. In the interests of highway safety, and to accord with Policy CS8 of the South Gloucestershire Local Plan: Core Strategy (Adopted December 2013) and the saved Policies E10 and T12 of the South Gloucestershire Local Plan (Adopted) January 2006.

4. No jumps, fences, gates or other structures for accommodating animals and providing associated storage shall be erected on the land.

Reason

To protect the character and appearance of the Green Belt and landscape in general, and to accord with Policy CS1 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted December 2013) and the saved Policy L1 of the South Gloucestershire Local Plan (Adopted) 6th Jan 2006 and the requirements of The National Planning Policy Framework March 2012 and the South Gloucestershire Council SPD - 'Development in the Green Belt' June 2007.

5. Any temporary jumps erected on the land shall be stored away to the side of the associated stable, immediately after use.

Reason

To protect the character and appearance of the Green Belt, the AONB and landscape in general, and to accord with Policy CS1 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted December 2013) and the saved Policy L1 and L2 of the South Gloucestershire Local Plan (Adopted) 6th Jan 2006 and the requirements of The National Planning Policy Framework March 2012 and the South Gloucestershire Council SPD - 'Development in the Green Belt' June 2007.

6. At no time shall horse boxes, trailers, van bodies and portable buildings or other vehicles be kept on the land other than for the loading and unloading of horses.

Reason

To protect the character and appearance of the Green Belt, the AONB and landscape in general, and to accord with Policy CS1 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted December 2013) and the saved Policy L1 and L2 of the South Gloucestershire Local Plan (Adopted) 6th Jan 2006 and the requirements of The National Planning Policy Framework March 2012 and the South Gloucestershire Council SPD - 'Development in the Green Belt' June 2007.

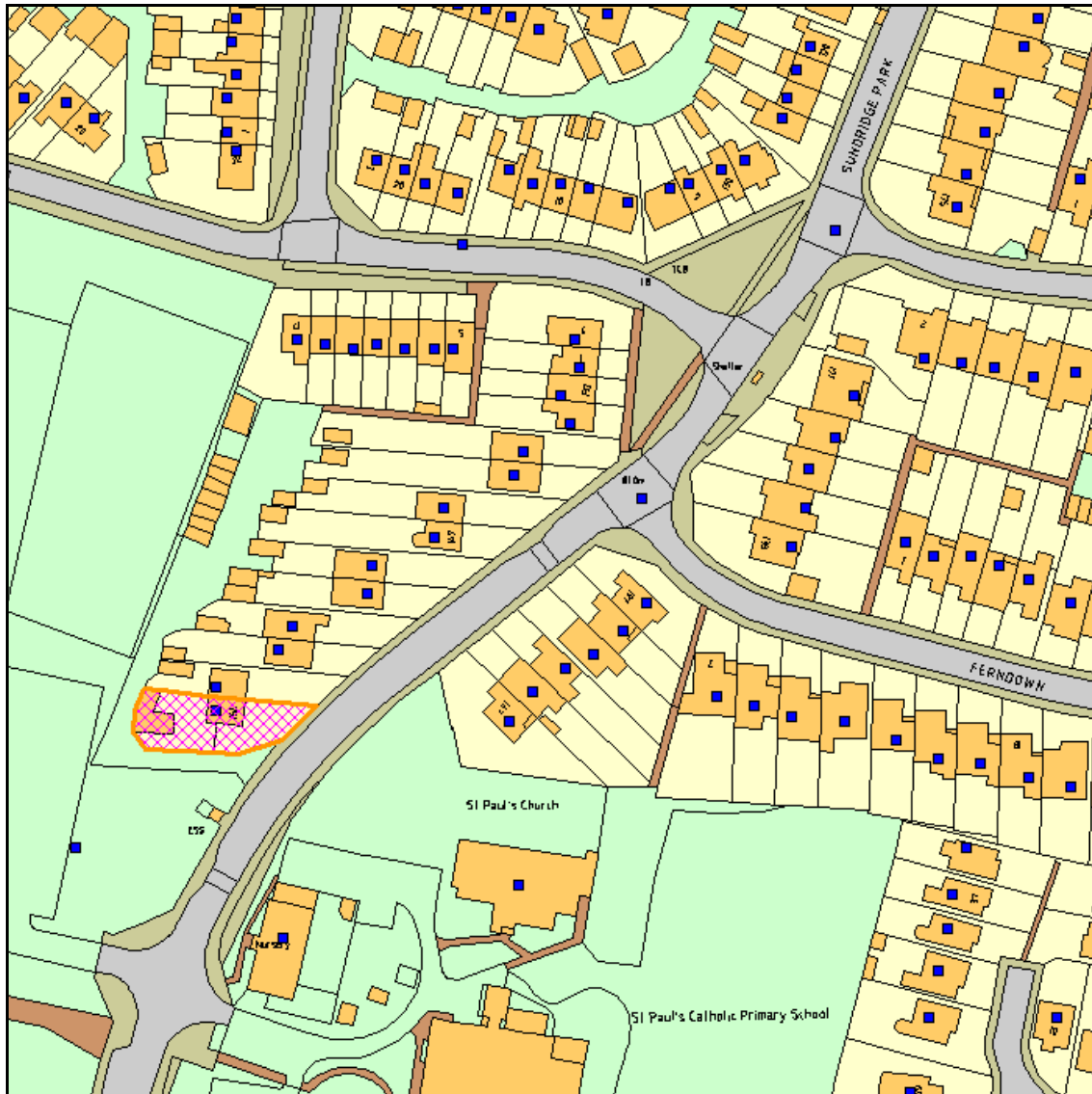
7. Prior to the commencement of development, a scheme of soft landscape to be submitted for approval that shall include details of all existing trees and hedgerows on the land showing those to be removed and those to be retained, including measures for their protection during the course of the development. The drawing to show proposed planting including times of planting. Also specification notes covering topsoil depths, cultivation, planting, irrigation, and landscape maintenance covering a 5 year establishment period to help ensure the planting thrives. Development shall be carried out in accordance with the agreed details.

Reason

This is a pre-commencement condition to avoid any unnecessary remedial action in the future and to protect the character and appearance of the Green Belt, the AONB and landscape in general, and to accord with Policy CS1 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted December 2013) and the saved Policy L1 and L2 of the South Gloucestershire Local Plan (Adopted) 6th Jan 2006 and the requirements of The National Planning Policy Framework March 2012 and the South Gloucestershire Council SPD - 'Development in the Green Belt' June 2007.

CIRCULATED SCHEDULE NO. 20/16 – 20 MAY 2016

App No.:	PK16/1183/F	Applicant:	Mr M Houghton
Site:	154 Sundridge Park Yate Bristol South Gloucestershire BS37 4DX	Date Reg:	15th March 2016
Proposal:	Erection of 1no. attached dwelling with associated works.	Parish:	Yate Town Council
Map Ref:	371242 182031	Ward:	Yate Central
Application Category:	Minor	Target Date:	6th May 2016



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100023410, 2008. N.T.S. PK16/1183/F

REASON FOR REPORTING TO CIRCULATED SCHEDULE

The below report appears on the Circulated Schedule following objections received from local residents.

1. THE PROPOSAL

- 1.1 The applicant seeks full planning permission for the erection of 1no. attached dwelling with associated works.
- 1.2 The application site relates to a two-storey semi-detached property situated on Sundridge Park, within the settlement boundary of Yate. The property holds a prominent corner position and benefits from a plot of land that sharply tapers from the front and splaying to the rear, forming the corner with a private lane from Sundridge Park to the side and behind. The proposed two storey property would be located here using the existing access serving the host dwelling.
- 1.3 During the course of the application revised plans were requested and received to alter the design of the proposed rear parking and show a protected tree in the front garden.

2. POLICY CONTEXT

2.1 National Guidance

National Planning Policy Framework March 2012

2.2 Development Plans

South Gloucestershire Local Plan Core Strategy (Adopted) December 2013

CS1 High Quality Design
CS4A Presumption in favour of sustainable development
CS5 Location of Development
CS8 Improving Accessibility
CS9 Environmental Resources and Built Heritage
CS15 Distribution of Housing
CS16 Housing Density
CS17 Housing Diversity
CS18 Affordable Housing
CS23 Community Infrastructure and Cultural Activity
CS24 Open Space Standards
CS30 Yate and Chipping Sodbury

South Gloucestershire Local Plan (Adopted) January 2006 – Saved Policies

H4 Development within Existing Residential Curtilages, Including Extensions and New Dwellings
T12 Transportation Development Control
T7 Cycle Parking
L1 Landscape Protection and Enhancement

- 2.3 Supplementary Planning Guidance
Design Checklist SPD (Adopted) 2007
Residential Parking Standards SPD (Adopted) 2013

3. RELEVANT PLANNING HISTORY

- 3.1 None relevant

4. CONSULTATION RESPONSES

4.1 Yate Town Council

Objection:

Over-development

Highway issues – traffic generation

Does the tree in the front garden have a preservation order?

4.2 Other Consultees

Highway Structures

No Comment

Drainage Officer

No objection subject to following informative:

Environment Agency 3rd generation **Flood Maps for surface water** show ground profiles in this development area as being subject to overland flow or flood routing in the event of high intensity rainfall (i.e. non-watercourse and non-sewer surcharging). The development area is shown as category **1 in 1000yr** surface water flooding. In line with Flood Risk Standing Advice the developer **must consider** whether he has appropriately considered surface water drainage and flood risks to and from the development site which could occur as a result of the development. **NOTE: This is separate from the watercourse Flood Zone maps and does not require submission of a Flood Risk Assessment.**

Tree Officer

The application form states that no trees are present on the development site, however there is a mature whitebeam in the front garden which could be affected by the development. The aforementioned tree offers good amenity to an area that currently is understocked with trees.

We would like to see this tree protected throughout the development.

A Tree Preservation Order has been made on this tree.

In order to fully assess this application please provide a tree report to BS5837:2012 to include the following:

A tree survey

A tree protection plan

An arboricultural implications assessment

An arboricultural method statement

These are required prior to determination.

Tree Report and revised plans are considered acceptable.

Transportation

Access to the parking spaces on site for both properties will be off Sundridge Park. For the existing house, it is proposed to construct a new drive to the front directly off the main road Sundridge Park. For the new dwelling, it is proposed to use the existing access drive which currently serving the existing parking spaces to the rear of no. 154 Sundridge parking. There will be no net increase of traffic movement onto this private drive. In order to improve access and egress to the parking space for this property, the followings are recommended:

- 1) *Splay end of the fence either side of the access in order to provide pedestrian vision.*
- 2) *The width and the length of the parking spaces at this location are increased to 3m and 5.5m respectively.*

In respect of parking, it is noted that the proposal includes 2no. parking spaces for the new dwelling and 2 spaces for the existing house. This meets the Council's parking standards and as such, there is no highway objection to parking for this development.

I note that Yate Town Council is objecting to this application on basis of over development and traffic generation. Whilst it is acknowledged that as result of new house on site, there will be some extra movements, this increase is limited to only one house. In traffic terms, the development will result in one extra car on the highway network during morning peak and one car during afternoon peak period. Such increase of traffic cannot be considered significant to justify refusal of the application.

In view of all the above mentioned and subject to the amendment as suggested above then, there is no highway objection to this application.

Revised plans are considered acceptable.

Update:

Having checked the accident data (personal Injury accidents Records) in the area, I confirm that there has been no 'personal injury accident record' on Sundridge Parking in the last 3 years.

Last personal accident on this road was a slight accident (recorded in Oct 2012) and that took place some 260m south of the application site and it was unrelated to this development site. It must be noted that there are currently traffic calming measures along Sundridge Park and the road is currently subject to 20mph speed limit.

The officer concludes that Sundridge Park is a safe traffic route and as such this application cannot be refused on highway safety ground.

Other Representations

4.3 Local Residents

Two letters of objection have been received from local residents. The main points raised are as follows:

- The garden to the side of No. 154 Sundridge Park is not large enough to accommodate a dwelling.
- The proposed development does not respect the local context and street pattern and would be entirely out of character for this part of the area. Currently, the host dwelling is part of a row of 10 semi-detached 1960s houses. Only past the Stanshawe Crescent turning is there terraced houses. The street is not a mixture of terraced and semi-detached houses as stated in the planning application.
- The planning application states that the proposed development is similar to a recent permission granted at No. 3 Stanshawe Crescent. This cannot be compared to the planning application at No. 154 Sundridge Park as this is a semi-detached house and not an end-terraced house as at No. 3.
- The proposed car parking in the front garden will overlook and overbear the neighbours at Nos. 150 and 152 Sundridge Park.
- The proposal states that other residents have car parking in their front garden. This is only true for No. 140 Sundridge Park, however they have easy access and are not on a bend so their view is not restricted when driving onto the road.
- Access to the rear of the property is via a private lane which serves approximately 20 other properties in the area. It is a very narrow one car lane with a narrow bend which means access to the proposed rear parking is right on the bend and this will cause disruption to other property owners as drivers' try to manoeuvre vehicles in and out of the parking spaces.
- Sundridge Park is a busy road serving 3 schools, a nursery and a church in the area. The proposed front car parking is on a bend for which there has been many accidents. Cars park on both sides of the road all the time and this already makes it difficult for cars to pass through. It will be difficult for cars to access or leave the proposed front parking and will add more danger to pedestrians trying to cross the footpath.
- The extra parking will generate more noise when vehicles start up or park.
- The applicant states that there will be a landscaped area at the front of the proposed and existing properties as well as parking spaces. This will mean the properties would have very small gardens when compared to the larger semi-detached house plots.
- The planning application does not show the large tree in the front garden of No. 154 Sundridge Park. It is unclear if the tree will be removed or retained. If retained, the tree would restrict the view of drivers' driving out of the proposed front parking.
- It is unclear if the boundary wall to the side of the existing house, next to the private lane, is the same as on the deeds as the previous owner may have extended the boundary wall onto the private lane.
- If planning permission is granted, it is unclear if hours of operation will be controlled and where construction vehicles and staff would gain access to the site for unloading and parking without causing a highway hazard or inconveniencing neighbours and pedestrians.

5. ANALYSIS OF PROPOSAL

5.1 Principle of Development

The proposal is for the erection of 1no. attached three bed dwelling is to be assessed against the above listed policies and material considerations. A recent appeal decision declared that South Gloucestershire Council does not have a 5 year land supply and for this reason Core Strategy Policy CS5 is considered to be out of date and therefore paragraph 14 of the NPPF is engaged. Given the above the NPPF requires that planning be granted for development unless:

– any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.

This means that decision takers must still take into account overall design, location, amenity and transport and are directed to resist inappropriate development.

5.2 Core Strategy Policy CS1 states that all development will only be permitted where the highest possible standards of design and site planning are achieved. Proposals will be required to demonstrate that they respect and enhance the character, distinctiveness and amenity of the site and its context; is well integrated with existing and connected to the wider network of transport links; safeguards existing landscape/nature/heritage features; and contributes to relevant strategic objectives. Saved Local Plan Policy H4 is supportive in principle of proposals for alterations and extensions to existing dwellings within their curtilage, including the erection of new dwellings, providing that the design is acceptable and that there is no unacceptable impact on residential and visual amenity. In addition, Saved Local Plan Policy T12 and Core Strategy Policy CS8 seek to ensure that development will have no adverse impact on highways.

5.3 The proposal is considered to accord with the principle of development and this is discussed in more detail below.

5.4 Design and Visual Amenity

The application site relates to the side garden of a semi-detached two-storey dwellinghouse situated within the settlement boundary of Yate. The house is of a simple design and modest proportions and is positioned at the end of a row of 10 stepped similar styled properties along Sundridge Park in front of Yate International Academy. The application site holds a corner position with its side garden adjacent a private lane from Sundridge Park serving a number of dwellings facing Sundridge Park and Stanshawe Crescent. It is noted that single storey lean-to extension is proposed to the rear of the host dwelling, but not mentioned in the application description. Such extensions may be built under permitted development. The extension would extend across the full width of the rear elevation. This would have a depth of approximately 2.35 metres, eaves of approximately 2.4 metres and achieve a height of approximately 3.95 metres. Openings would be in the west elevation only, facing the garden.

This is considered to be appropriate to the host property and acceptable to the area in general.

- 5.5 For the remainder of the report, a balanced approach the assessment of the proposed attached dwelling is required which would take into account, among other things, policy aims, the distance of the site from its neighbours, the use of part of the large garden associated with No. 154 and its orientation and how well the proposal would appear in its surroundings.
- 5.6 The proposed dwelling is stepped down from the main ridge line and its front elevation stepped back from the main front building line, but the eaves and ridge heights would match those of the existing dwelling. Its rear elevation will follow the existing rear building line. It is recognised that other properties along the street have a strong uniform appearance to their front elevations. The design has sought to complement the front elevation of the existing semi-detached pair. The width of the proposed new dwelling would be narrower than the existing dwelling at approximately 4.75 metres and windows would be located in the front, side and rear elevations. Its main entrance would be to the front rather than the side.
- 5.7 Comments have expressed concern over the general scale of the new dwelling and the proposed design being out of character in terms of its appearance with existing dwellings in the vicinity as there are no terrace blocks on Sundridge Park until the junction with Stanshawe Crescent. It is acknowledged that the proposed dwelling would be of a smaller scale than the row of semi-detached pairs, however, it is considered that the proposed design would be sympathetic rather than a pastiche of the existing dwellings. Furthermore, it must also be recognised that its location would be within the confines of a settlement boundary where sustainable development is supported.
- 5.8 Regarding design, each proposal is assessed on its own merits whereby on many, but not all, occasions subservient additions are encouraged. In this case, the design is considered to accord with the principles set out in Policy CS1 which states that, among other things, design should respect the character and distinctiveness of the site and area in its siting, form, scale, height and massing. In addition, the overall layout should be well integrated with the existing adjacent development. It is considered that the proposed structure would accord with these overarching principles. Internal changes to the properties can be made without the need for full planning permission. Furthermore, it could be that internal alterations or extensions have already taken place within other properties along this road so as to change the number of bedrooms, but these alterations may not always be obvious to the casual observer. It is acknowledged that the proposed house would be a three bed property, but it is considered that the dwelling's design would allow a successful integration with the existing street scene and it would not appear glaringly at odds with the other properties here.
- 5.9 It is recognised that the host dwelling is made up of a mixed material palette of brick, render, cladding elevations and tiled roof. The submitted plans states the materials of the proposed dwelling would be of red brick to match existing and Redland Breckland Black double roman tiles similar to the host property's.

However, the application form identifies the elevation material of the proposed dwelling as being render. This discrepancy is unacceptable given that the proposed dwelling would create a terrace of three. A condition would be attached to the decision notice to ensure that the front and rear elevations of the proposed dwelling are brick and the side elevation is render. This condition would ensure the development remains in-keeping with the character of the area. In terms of design, scale and massing the proposed dwelling is considered acceptable.

5.10 Residential Amenity

The existing property benefits from its corner position by having a front garden and a side and rear garden giving it a larger than average residential curtilage. To facilitate the proposed development, the existing rear garden will be subdivided and enclosed by fencing of approximately 1.8 metres in height and the existing garage would be demolished. The existing boundary wall with No. 152 Sundridge Park will be retained. Two parking spaces would be located in the front garden of the existing house. Although smaller than originally, sufficient amenity space would remain to serve this property.

5.11 In a similar fashion, the rear amenity space allocated to the new dwelling would be enclosed by 1.8 metre high fencing. The car parking for the proposed new dwelling will utilise part of the footprint of the demolished garage located in the rear garden. The proposed residential amenity space to the front would be open plan thereby retaining this feature of the street.

5.12 The main proposed openings would be located in the east and west elevations. To the south would be located two first floor windows serving a bathroom and an en-suite. This elevation would be opposite the private lane and a grassed area of the Yate International Academy. To the west, the property would face the car and cycle park serving the Yate International Academy. To the east, the property would face Sundridge Park and a grassed area of St. Paul's Catholic Church. It is therefore considered that there would be no issues of inter-visibility or overlooking resulting from the proposed development.

5.13 It is considered that the proposed new dwelling would not impact negatively on the residential amenity of the host dwelling or neighbouring dwellings and would provide sufficient outside space to serve future occupiers.

5.14 Comments received have stated the application would be over-development of this small site. Policy dictates that applications for new dwellings within existing residential curtilages are acceptable providing they meet certain criteria. It must be noted that the application site is to the side of an existing dwellinghouse which benefits from a larger than average size plot. The above residential amenity assessment has concluded that given its distance from other dwellings, the proposal would not be over-bearing to its neighbours and as only part of the garden would be enclosed by fencing and built form, the open feel of the street would not be entirely lost.

5.15 Given the above, the proposal is considered acceptable in these terms and can be recommended for approval.

5.16 Transportation

The proposed application includes the demolition of an existing garage to facilitate the erection of an attached 3no. bed dwellinghouse. The main issue to consider is therefore the provision of off-street parking for the development. Parking requirement for the proposed development is assessed against the South Gloucestershire SPD: Residential Parking Standards (Adopted) 2013. This document states that two parking spaces are required for a 3no. bed property.

5.17 It is noted that the applicant has proposed a total of 4no. parking spaces on site – two parking for the existing and two for the new house. This level of parking for the development meets the Council Parking standards and as such it is acceptable. An Informative will be put in place to remind the applicant to contact the Council's Development Streetcare Department to obtain consent to extend the existing dropped kerb. The submitted plans also show cycle storage and bin storage areas provided for both the existing and proposed properties which is in line with the specifications set out in Saved Local Plan Policy T7.

5.18 It is noted that the Town Council have objected to this application on the basis of the level of traffic generated. It is acknowledged that the introduction of a single dwelling at this point will generate one extra car on the highway during the morning peak and one car during the afternoon peak, but such a small increase of traffic cannot be considered significant to justify refusal of the application.

5.19 Concern has been expressed regarding the size of the private lane and its ability to cope with additional traffic. As mentioned above, the proposal is for a three bed dwelling and the level of traffic generated would be small. To improve access and egress into the proposed rear parking spaces, the agent was requested to increase the parking space sizes to 3 metres by 5.5 metres and splay end the proposed fencing either side of the access to provide pedestrian vision. Plans showing these revisions are considered acceptable. Taking into account the relatively few vehicular movements generated by the small dwelling and the amendments to the rear vehicular access, the proposal is considered acceptable.

5.20 Further concerns have been expressed regarding the front parking being proposed on a contour of Sundridge Park and that there have been many accidents here. It is noted that the site is facing a busy road and pavements, but this is not an unusual situation for residential dwellings in the area. A similar situation exists whereby occupants of other houses using the private lane cross the pavement to gain access to and from Sundridge Park road. However, The Transport Officer has fully assessed the situation. After checking the accident data (personal Injury Accidents Records) in the area, confirmation has been received that there has been no 'personal injury accident record' on Sundridge Park in the last 3 years. The last person accident on the road was a slight accident (recorded in October 2012) and that took place 260 metres south of the application site and it was unrelated to this development site. It must be noted that there are currently traffic calming measures along Sundridge Park and the road is currently subject to a 20 mile per hour speed limit. The

Transport Officer has concluded that Sundridge Park is a safe traffic route and the introduction of two parking spaces at this point is unlikely to majorly impact on the safety of pedestrians at this location. As such, this application cannot be refused on highway safety ground.

- 5.21 It is noted that there is a concern that the level of traffic generated will result in additional noise. The site is already in residential use and the proposed dwelling would not alter this. Although the extension would increase vehicular use, it is not considered that the addition of more cars would result in a material increase in noise over and above that which can be expected and which is reasonable within a residential setting.
- 5.22 Subject to the informative, there is no highway objection to this application.
- 5.23 Environmental Issues
The site does not lie within a zone at high risk of flooding, neither is it in a coal referral area. Whilst there may be some disturbance for local residents during the construction phases this would be on a temporary basis and the hours of work would be adequately controlled by means of a condition.
- 5.24 Affordable Housing
The proposal is for 1no. new dwelling only, which is below the Council's threshold (10) for affordable housing provision.
- 5.25 Community Services
The proposal is for 1no. new dwelling only, which is below the Council's threshold (10) for contributions to Community Services.
- 5.26 Drainage
The site lies within flood risk zone 1 and advice declares that all uses of land are appropriate in this zone. Development on a parcel of land of this size would not require a flood risk assessment but all development is encouraged to reduce the overall level of flood risk in the area and beyond through careful site layout and the appropriate application of sustainable drainage systems. No details have been included with the application, except a reference in the Design and Access Statement that a sustainable drainage system will be utilised to prevent additional loading on the existing mains drainage. However, these matters can be successfully dealt with under Building Regulations. Subject to an informative, therefore there are no objections to the scheme in this respect.
- 5.27 Trees
The application site has a mature Whitebeam Tree in the proposed attached property's front garden which could be affected by the two parking spaces proposed in the host dwelling's front garden. A neighbour has also queried whether this tree is to be removed. Officers have assessed the proposed parking spaces and a Tree Preservation Order has been made on the tree on the basis that it offers good amenity to an area that is currently understocked with trees.

In order to fully assess the impact the proposed parking spaces would have on the retained tree, a tree report to BS5837:2012, including a tree survey, a tree protection plan, an arboricultural implications assessment and an arboricultural method statement was required. A Tree Report and revised site plan showing the tree have been received and these are considered acceptable. Subject to a condition requiring compliance with the Tree Report, there are no objections to the proposed works.

5.28 Other Matters

An neighbour has requested consideration be given to how the construction would be undertaken without causing a highway hazard or inconveniencing neighbours. Access to the building site is a civil matter. Access gained by crossing land belonging to another is unacceptable unless consent has been acquired prior to undertaking and it is an offence to obstruct a public highway.

5.29 One objector has stated that the proposal cannot be compared to previous developments at No. 3 Stanshawe Crescent and No. 140 Sundridge Park. Previous developments in an area are considered from the point of view of precedent, but each case is assessed on its own merits.

5.30 A comment has been received that the previous owner may have extended the side boundary onto the private lane. However, the applicant has completed the relevant certificate declaring they are the sole owner of all the land concerned.

6. CONCLUSION

6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.

6.2 The recommendation to **grant** permission has been taken having regard to the policies and proposals in the South Gloucestershire Local Plan (Adopted) January 2006 and the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013 set out above, and to all the relevant material considerations set out in the report.

7. RECOMMENDATION

7.1 That the application be **APPROVED** subject to the conditions written on the decision notice.

Contact Officer: **Helen Braine**
Tel. No. **01454 863133**

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

To comply with the requirements of Section 91 of the Town & Country Planning Act 1990 (as amended).

2. The hours of working on site during the period of construction shall be restricted to 7:30 to 18:00 Monday to Friday and 8:00 to 13:00 on Saturdays; and no working shall take place on Sundays or Public Holidays. The term 'working' shall, for the purpose of clarification of this condition include: the use of any plant or machinery (mechanical or other), the carrying out of any maintenance/cleaning work on any plant or machinery deliveries to the site and the movement of vehicles within the curtilage of site

Reason

To protect the amenities of the occupiers of nearby dwelling houses, and to accord with Policy H4 of the South Gloucestershire Local Plan (Adopted) January 2006; Policy CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) 2013 and the provisions of the National Planning Policy Framework.

3. The external facing materials to be used shall be carried out in accordance with the details agreed in writing by the Local Planning Authority on 19/04/2016. Any variation of the agreed details shall not be carried out without details first being submitted to and approved in writing by the Local Planning Authority prior to the commencement of the relevant works with development being carried out as such thereafter.

Reason

To ensure a satisfactory standard of external appearance and to accord with Policy CS1 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013; and the National Planning Policy Framework.

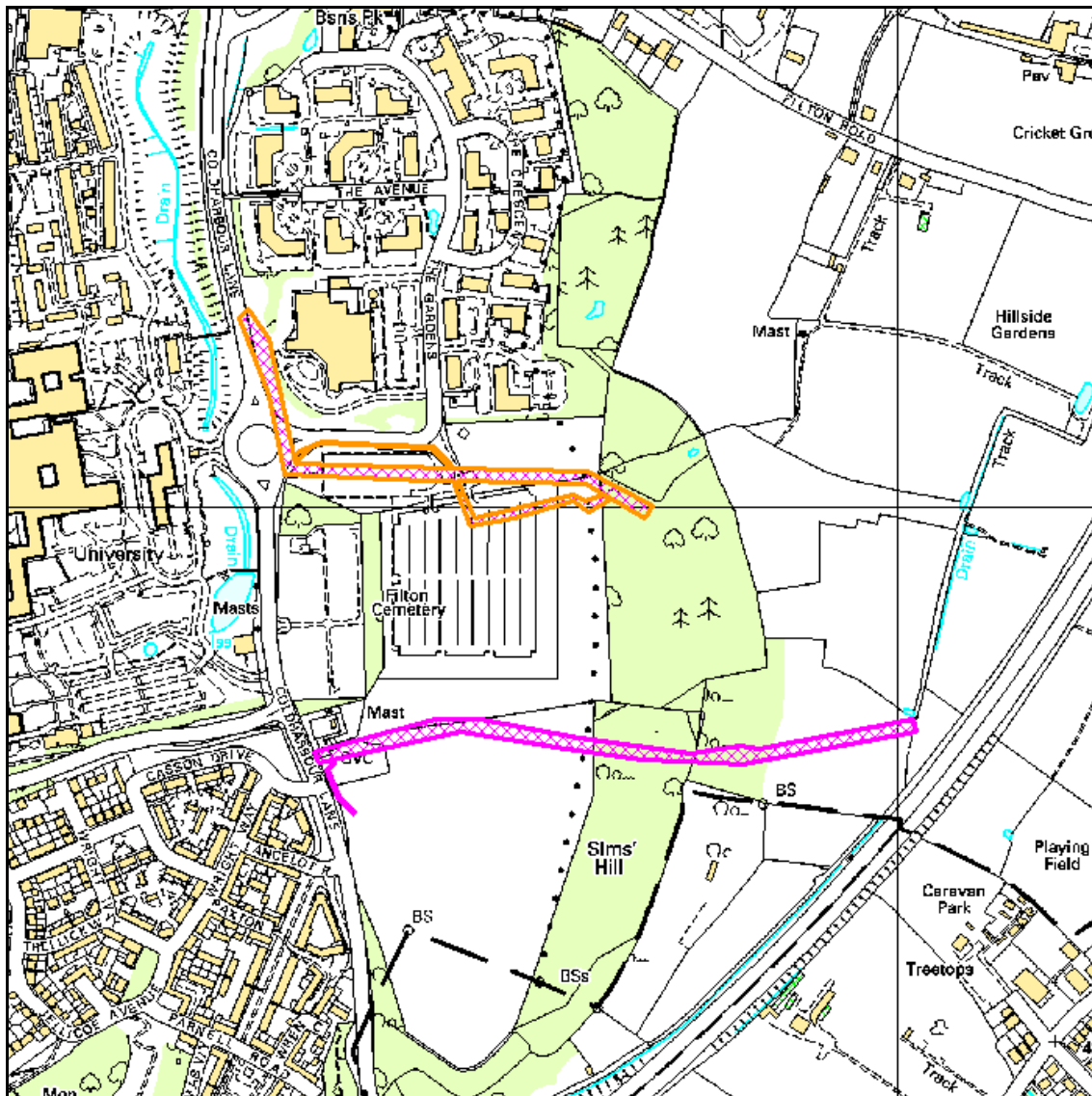
4. All development must be carried out strictly in accordance with the Tree Report (received by the Council on 13/05/2016).

Reason

To ensure that development is carried out in an appropriate manner in the interest of the long term health of the protected tree, and to accord with policies L1 of the South Gloucestershire Local Plan (Adopted) 2006, and The Town and Country Planning (Tree Preservation) (England) Regulations 2012.

CIRCULATED SCHEDULE NO. 20/16 – 20 MAY 2016

App No.:	PT15/5008/FDI	Applicant:	Taylor Wimpey UK Limited & Bristol Polytechnic Enterprise...
Site:	Land East Of Coldharbour Lane Stoke Gifford South Gloucestershire BS16 1UX	Date Reg:	20th November 2015
Proposal:	Diversion of footpath LSG24 and LSG25.	Parish:	Stoke Gifford Parish Council
Map Ref:	362398 177531	Ward:	Frenchay And Stoke Park
Application Category:	Minor	Target Date:	12th January 2016



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REASON FOR REPORTING TO CIRCULATED SCHEDULE

Under the current scheme of delegation all footpath diversion orders are required to be determined by the circulated schedule process.

1. THE PROPOSAL

- 1.1 The application is made under Section 257 of the Town and Country Planning Act 1990 (as amended) for the diversion of footpaths LSG24 and LSG25.
- 1.2 The purpose of the application is to redirect the two footpaths to follow routes through the recently approved residential development (PT15/1179/O) on Land East of Coldharbour Lane (LECL), which is located south of Bristol Business Park and east of Coldharbour Lane and Filton cemetery.
- 1.3 The application seeks consent for redirect a section of footpath LSG24 which runs east to west along the northern side of the LECL site from the Coldharbour Lane roundabout, to follow a route around a proposed extra care village and crossing the proposed spine road through the LEC site and meeting back with the existing route which travels east through the Simms Woodland down to the M32.
- 1.4 The application also seeks consent to redirect a section of footpath LSG25 which runs in an east to west route through the southern section of the LECL site from The telecoms mast and Wessex Water pumping station on the south side of the cemetery through the site to Simms Woodland to the east where it then meets with footpath LSG24. The rerouted footpath would follow a similar route from pumping station to Simms Woodland but redirected through the proposed residential development along segregated footways.

2. POLICY CONTEXT

- 2.1 National Guidance
Circular 01/2009
- 2.2 Development Plans

South Gloucestershire Local Plan (Adopted) January 2006
LC12 Recreational Routes
- 2.3 South Gloucestershire Core Strategy (Adopted) December 2013
Policy CS9 Environmental Resources and Built Heritage

3. RELEVANT PLANNING HISTORY

- 3.1 PT15/1179/O: Hybrid planning application on 13.3 hectares of land seeking outline permission for the erection of up to 694 dwellings with associated infrastructure including full permission for phase 1 of development consisting of the erection of 284 dwellings (of the 694no. total), a 120m² Nursery (Use Class D1) and 261no. Extra Care units (of the 694no. total) with communal areas (2217m² mixed use); along with site access/spine road, car parking, open space, landscaping and drainage infrastructure and including outline proposal

for the remainder of the site comprising up to 149 dwellings with associated infrastructure, with means of access to be considered and all other matters reserved for future consideration. Approved 29.07.2015 with s106 agreement.

4. CONSULTATION RESPONSES

4.1 Stoke Gifford Parish Council
No comment

4.2 Winterbourne Parish Council
No objection

Other Representations

Public Rights of Way

4.3 The proposed diversion of the remaining part of LSG25 and part of LSG24 has been satisfactorily resolved. No objection

5. ANALYSIS OF PROPOSAL

5.1 Principle Matters

The diversion of a Public Right of Way is not development as defined in the Town and Country Planning Act. As such a diversion order can only be considered within planning legislation when the diversion of the footpath is required in order to allow the implementation of a planning permission (in this case PT15/1179/O). The nature of the assessment should consider the proposed route and its suitability in terms of the amenity of the public right of way and whether or not the diversion is reasonably necessary in respect of the planning permission it relates to.

5.2 The Proposal

It is proposed to divert the footpaths LSG24 and LSG25 which both run through the LECL site east to west. The LECL site which to date comprises open fields and former UWE car park is to be developed for residential purposes for up to 694 dwellings. Footpath LSG 25 currently follows a straight route through the site east to west. The approved scheme for residential development (PT14/1179/O) proposes to redirect the footpath to run along the main spine road as a segregated green route and other green pedestrian only route to Simms Woodland. Footpath LSG 24 also runs along a direct east to west route. The approved scheme PT14/1179/O proposes to redirect part of the existing route to follow a segregated green footpath running alongside the spine road heading south and then crossing the spine road and following the existing hedge to Simms Woodland. Both reroutes footpaths would follow a segregated green tree lined route through the new residential development.

5.3 The Council's Public Rights of Way officer has no objection to the proposed diversion and there are no significant landscape concerns either. The proposed rerouting of footpaths LSG24 and LSG25 is considered to be acceptable.

6. CONCLUSION

- 6.1 The recommendation to raise no objection has been taken having regard to the policies and proposals in the South Gloucestershire Local Plan (Adopted) January 2006 set out above, and to all material considerations set out in the report.
- 6.2 The proposal is considered to satisfactorily comply with Circular 01/09 and Policy LC12 of the South Gloucestershire Local Plan (Adopted) 6th January 2006 and Policy CS9 of the South Gloucestershire Local Plan Core Strategy 2013 as the utility and amenity of the route would be retained.

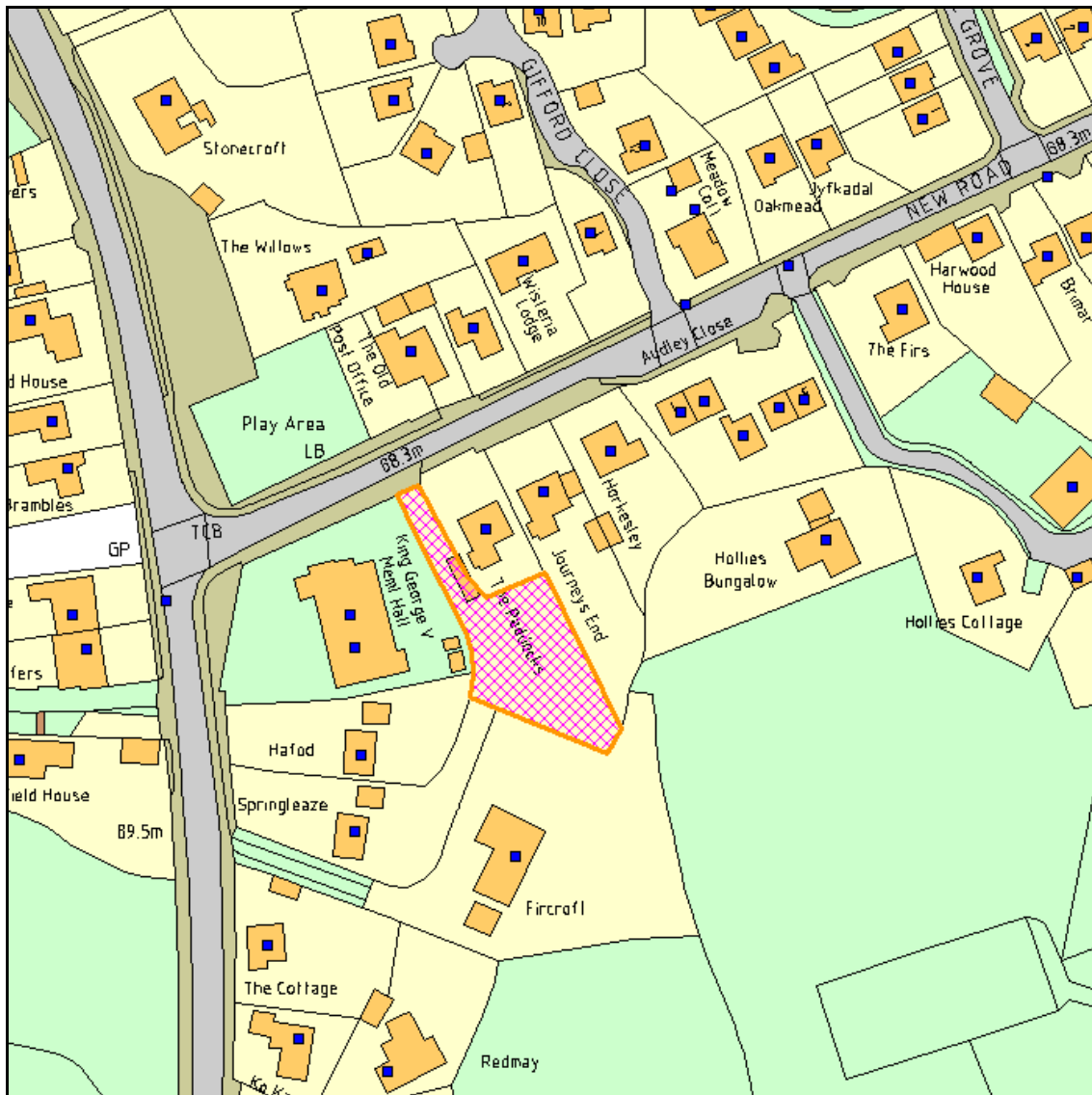
7. RECOMMENDATION

- 7.1 That no objection be raised to the proposed diversion of footpaths LSG24 and LSG25 and that the Head of Legal and Democratic Services be instructed and authorised to make an Order under Section 257 of the Town and Country Planning Act 1990 for the diversion of footpaths LSG24 and LSG25 as illustrated on layout plan reference (drg nos. PL-106.2 Rev A and PL-106.1) received by the Council on 17th November 2015.

Contact Officer: Sean Herbert
Tel. No. 01454 863056

CIRCULATED SCHEDULE NO. 20/16 – 20 MAY 2016

App No.:	PT16/0043/F	Applicant:	Mr And Mrs Nigel Williams
Site:	Rear Of The Paddocks New Road Rangeworthy South Gloucestershire BS37 7QH	Date Reg:	29th January 2016
Proposal:	Erection of 2 no. detached dwellings with new access and associated works (Amendment to previously approved scheme PT14/1198/F)	Parish:	Rangeworthy Parish Council
Map Ref:	369209 185774	Ward:	Ladden Brook
Application Category:	Minor	Target Date:	23rd March 2016



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REASON FOR REPORTING TO THE CIRCULATED SCHEDULE

This application is referred to the Circulated Schedule for determination due to the receipt of objection from Rangeworthy Parish Council, which would be contrary to officers' recommendation.

1. THE PROPOSAL

- 1.1 This application seeks planning permission to amend an approved scheme for the erection of two detached dwellings within a rear garden of the Paddocks, New Road, Rangeworthy. The main amendments to the scheme would be the design of the new dwellings, which would be 2 no. two-storey flat roof dwellings instead of 2 no. bungalows.
- 1.2 An existing vehicular access would be used and shared with the proposed dwellings. The existing garage has been removed to make way for the development.
- 1.3 The site measures approximately 0.13 hectares. The site is located within the settlement boundary for Rangeworthy and is outside the Bristol / Bath Green Belt as shown on the proposals map. An ash tree, which is protected by a Tree Preservation Order, is located at the rear boundary of the site.
- 1.4 During the course of the application, the applicant submitted a supporting statement to explain the design approach of the proposal due to its unique design. In addition, the applicant submitted a street scene to demonstrate the potential impact upon the character of the locality and confirm that the height of the new dwellings would not be higher than the existing bungalow at the front.

2. POLICY CONTEXT

2.1 National Guidance

National Planning Policy Framework March 2012
National Planning Policy Guidance

2.2 Development Plans

South Gloucestershire Local Plan Core Strategy Adopted December 2013

CS1 High Quality Design
CS4A Presumption in Favour of Sustainable Development
CS5 Location of Development
CS8 Improving Accessibility
CS9 Managing the Environment and Heritage
CS15 Distribution of Housing
CS16 Housing Density
CS17 Housing Diversity
CS34 Rural Areas

South Gloucestershire Local Plan Adopted January 2006 Saved Policies

L1 Landscape
L9 Species Protection

- T12 Transportation
- H4 Development within Existing Residential Curtilages

2.3 Supplementary Planning Guidance

- (a) South Gloucestershire Design Checklist (Adopted) August 2007
- (b) Residential Parking Standard (Adopted) December 2013

3. RELEVANT PLANNING HISTORY

- 3.1 PT13/4641/F Erection of 2 no. detached dwellings with access and associated works Withdrawn
- 3.2 PT14/1198/F Erection of 2 no. detached dwellings with new access and associated works.(Re Submission of PT13/4641/F). Approved 20.06.2014

4. CONSULTATION RESPONSES

4.1 Rangeworthy Parish Council

Objection. Rangeworthy Parish Council considers this new design to be entirely different to the originally approved design and is now incongruous in a rural environment setting. The Parish Council also considers this new design is incompatible to neighbouring properties and is overdevelopment of the site

4.2 Highway Officer

No objection

4.3 Arboricultural Officer

No objection subject to a pre-commencement condition seeking an inspection of the fence and securing the fencing will be in accordance with the tree report and BS:5837:2012.

4.4 Highway Drainage

No objection

4.5 Transportation

The proposed alterations (in comparison with the previous application PT14/1198/F) are considered satisfactory, and as such there is no transportation objection to this proposal.

Other Representations

4.6 Local Residents

No objection received.

5. ANALYSIS OF PROPOSAL

5.1 Principle of Development

This application seeks planning permission for the erection of two dwellings in Rangeworthy.

Development must meet the criteria of Policy CS5 to be acceptable in principle. This policy states that for rural communities outside of the green belt, small scale development may be permitted within the defined settlement boundaries. Planning permission PT14/1198/F has been granted for the erection of 2 no. dwellings within the site, therefore the principle for residential development on this site has been established and accepted. Therefore, there is no principle objection to the proposal but the application should be determined against the relevant planning considerations as set out below.

5.2 Design and Visual Amenity

Residential development is supported to help meet the housing delivery identified in policy CS15. Policies CS16 and CS17 require development to provide a diverse mix of housing and make the most efficient use of the land, particularly with regard to sustainability.

Situated within the existing settlement, the site is considered to be a suitable and sustainable location for development. Officers acknowledge that the Parish Council's concerns regarding the design of the proposed dwelling.

Paragraph 56-65 of the NPPF expect development to achieve good quality design. Paragraph 60 states that planning decisions should not attempt to impose architectural styles or particular tastes and they should not stifle innovation, originality or initiative through unsubstantiated requirements to conform to certain development forms or styles. It is however proper to seek to promote or reinforce local distinctiveness.

A mix of housing styles and sizes already exist in Rangeworthy. The site is not within any heritage designation, such as, a setting of listed buildings or a conservation area. Nevertheless the area is generally characterised by a group of single storey and two storey pitched roof dwellings, which make a positive contribution to the street scene in this rural village.

There are a number of bungalows, including the Paddock and Joruney's End, surrounding the application site. Both these properties have a large flat roof dormer across the rear elevation. A majority of the properties along Wotton Road and New Road are finished with stone work or brick work. There is a single storey pitched roof village hall is situated to the north western of the site.

The applicant also submitted further details including the proposed street scene to explain the design approach of this scheme. Officers have considered the submitted statements and acknowledged the shortcomings of the previous approved scheme and the applicants' aspirations to improve the energy efficiency on these buildings. It is indicated that the flat roof approach would enable an installation of solar panel. Although Officers support the applicants' aspirations on the use of renewable energy, it is considered that this reason alone would not necessarily be adequate to justify the flat roof design.

Whilst Officers acknowledge that the new buildings would not entirely reflect the character of the locally in term of its roof design, officers are mindful that the proposed buildings do achieve good quality of design and have its own character, which would not make any material harm to the local distinctiveness, and they would be finished with a mix of pennant stone and render, which have been used on other properties in the village.

Furthermore, the ridgeline of the proposed dwellings would not be higher than the existing bungalow, the Paddock. Both new dwellings would be significantly set back from the public highway, and only a small part of the proposed dwellings would be visible from the public realm. As such, it is considered that the proposal would respect the street scene and comply with Policy CS1 of the adopted Core Strategy. Nevertheless, given that the proposed dwellings would be different from other neighbouring properties in terms of design style, it would be necessary to impose a condition to seek the levels of floor slabs to ensure that the ridgeline of the new dwelling would not be higher than the existing dwelling, the Paddock. Given their good quality of design, the discreet location of the site, the positive response to the local materials, officers consider the proposed dwellings would not cause material harm to the local character and appearance to warrant a refusal of this application.

5.3 Residential Amenity

The proposed new dwellings would be located at the rear of the existing property, the Paddock. Plot one would be approximately 14 metres from the single storey rear extension of the Paddock and this new dwelling would be largely overlooking the driveway. Plot two would be approximately 20 metres from the rear elevation of the Paddock and would provide a reasonable distance between the new dwelling and the existing property. Therefore it is considered that there is no issue in terms of overlooking or overbearing impact the occupiers of the Paddock.

Both dwellings would sit at an angle to the adjacent properties, as such they would not cause significant overbearing impact. With regard to the loss of privacy, officers noted that there is a small bedroom window on the first floor side elevation of House 1 and 2, given the proximity of the neighbouring properties and the siting of these dwellings, it is considered that it would be necessary to impose a condition to ensure this window would be obscured glazed with restricted opening. In addition, a planning condition is imposed to ensure no other windows are to be installed on the first floor side elevations of these dwellings to protect the privacy of the neighbouring and future occupiers.

To the rear there is a single storey dwelling, Fircroft. The rear elevation of the new dwellings would be approximately 5-16 metres from the rear boundary. Given the considerable distance between the rear elevation of these new dwellings and the neighbouring property Fircroft, it is considered that the loss of privacy would not be significant to warrant a refusal of this application.

In addition, a planning condition is imposed to seek further details of any boundary treatment within the site in order to protect the privacy for the neighbouring properties.

5.4 Trees

The applicant submitted an arboricultural report, which has been considered by the Council Arboricultural Officer. There is no arboricultural objection to the proposal subject to a planning condition to ensure that the protective fencing is erected in accordance with BS:5837:2012 and the submitted amendment to the Tree report dated 27th January 2016.

5.5 Transport and Parking

The siting of the proposal is similar to the previous approved scheme. Although it would not provide a visitor parking space and two of spaces are restricted in size, it is considered that there would be adequate spaces within the site to provide adequate 2 no. parking spaces for each dwelling including the existing bungalow. It is therefore considered that the proposal would comply with the Council's Residential Parking Standard. There are no highway concerns over the visibility splay from the access, therefore there is no objection to the development on the grounds of highway safety.

6. CONCLUSION

6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.

6.2. The recommendation to grant permission has been taken having regard to the policies and proposals in the South Gloucestershire Local Plan (Adopted) January 2006 and the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013 set out above, and to all the relevant material considerations set out in the report.

7. RECOMMENDATION

7.1 That planning permission be granted subject to the following conditions;

Contact Officer: Olivia Tresise
Tel. No. 01454 863761

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

To comply with the requirements of Section 91 of the Town & Country Planning Act 1990 (as amended).

2. Notwithstanding the provisions of Schedule 2 of the Town & Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification) no development as specified in Part 1 (Classes A, B, C, E and F), or any minor operations as specified in Part 2 (Class A), other than such development or operations indicated on the plans hereby approved, shall be carried out without the prior written consent of the Local Planning Authority.

Reason

To ensure the satisfactory external appearance of the development in the interests of visual amenity and to protect the residential amenity of the neighbouring occupiers and to accord with Policies CS1 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted December 2013) and Policy H4 of the South Gloucestershire Local Plan (Adopted) January 2006.

3. Notwithstanding the submitted proposed elevations, the glazing on the first floor west elevation of House One shall at all times be of obscured glass to a level 3 standard or above and non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed. Additionally, no windows other than those shown on the plans hereby approved shall be inserted at any time in the first floor side elevation of the new dwellings hereby approved.

Reason

To protect the privacy and amenity of neighbouring occupiers, and to accord with saved Policy H4 of the South Gloucestershire Local Plan (Adopted) January 2006; and the National Planning Policy Framework March 2012.

4. Notwithstanding the submitted details, prior to the commencement of the development, levels of the floor slab of the proposed dwellings hereby approved and the existing dwelling namely the Paddock to show the relative heights shall be submitted to and agreed by the Local Planning Authority. Works shall be strictly carried out in accordance with the approved details.

Reasons

a. This is a pre-commencement condition to avoid any remedial works in the future.
b. To safeguard the character of the locality and and to accord with Policy CS1 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013 and Policy H4 of the South Gloucestershire Local Plan (Adopted) January 2006.

5. Prior to the commencement of the relevant part of the proposed development hereby approved, details of the roofing and external facing materials proposed to be used shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason

To ensure a satisfactory standard of external appearance and to accord with Policy CS1 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013 and Policy H4 of the South Gloucestershire Local Plan (Adopted) January 2006.

6. Notwithstanding the submitted details, prior to the installation of the boundary treatment, a plan indicating the position, design, and materials for the boundary treatment to be erected within the site shall be submitted to the Local Planning Authority for approval. The boundary treatment shall be completed before the buildings are first occupied. Development shall be carried out in accordance with the approved details.

Reason

To ensure a satisfactory standard of external appearance and in the interests of conserving the landscape character of the locality, and to accord with Policy CS1 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013 and Policy L1 of the South Gloucestershire Local Plan (Adopted) January 2006 (Saved Policies).

7. Prior to the commencement of the development, surface water drainage details including SUDS (Sustainable Drainage Systems e.g. soakaways if ground conditions are satisfactory), for flood prevention; pollution control and environmental protection have been submitted and approved by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reasons:

- a. This is a pre-commencement condition to avoid any remedial work in the future.
 - b. To ensure that a satisfactory means of drainage is provided, and to accord with Policy CS9 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013.
8. The proposed hard standing area shall be of appropriate permeable design to ensure surface run-off is retained at source. Use of permeable surfacing will be required or rainfall to be directed to permeable soakage area within the curtilage of the proposed dwellings hereby approved.

Reason

To ensure a satisfactory means of drainage and pollution control in order to comply with Policy CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted December 2013).

9. The proposed tree protective fencing shall be in accordance with BS:5837:2012 and the amendment to the Tree Report dated 25 January 2016 to protect the existing trees and hedges. The protective fencing shall be erected and inspected by the Council Arboricultural Officer prior to the commencement of development operations and stay in place until all construction operations have ceased.

Reason

In the interests of the long term health of the tree, and to accord with Policy CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted December 2013 and saved Policy L1 of the South Gloucestershire Local Plan (Adopted) January 2006.

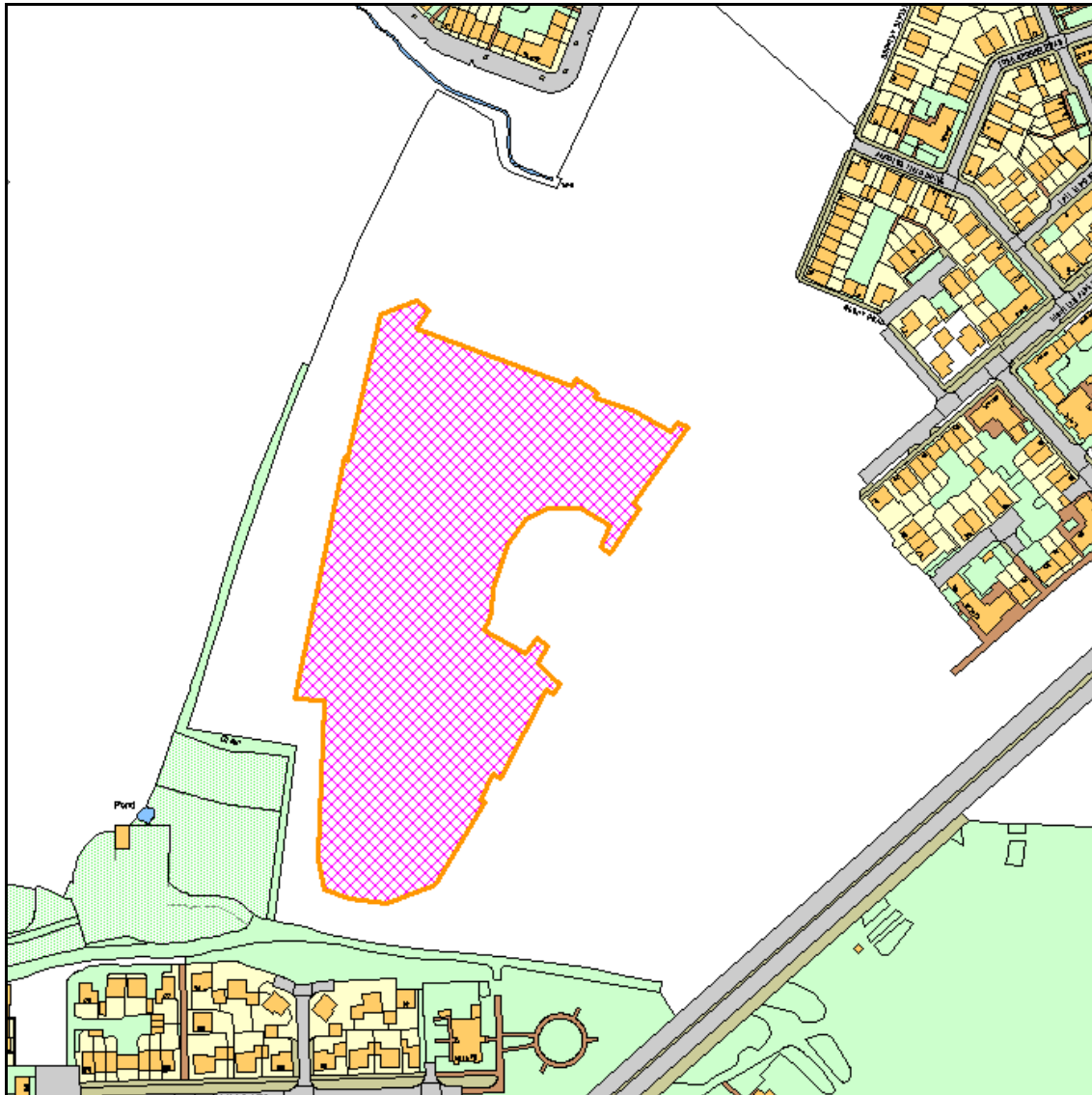
10. The hours of working on site during the period of construction shall be restricted to 07.30am to 18:00 Mondays to Fridays, 08:00am to 13:00 Saturdays with no working shall take place on Sundays or Public Holidays. The term 'working' shall, for the purpose of clarification of this condition include: the use of any plant or machinery (mechanical or other), the carrying out of any maintenance/cleaning work on any plant or machinery deliveries to the site and the movement of vehicles within the curtilage of site.

Reason

To protect residential amenity during construction works and to accord with the core planning principles of the National Planning Policy Framework March 2012 and Policy H4 of the South Gloucestershire Local Plan (Adopted) January 2006.

CIRCULATED SCHEDULE NO. 20/16 – 20 MAY 2016

App No.:	PT16/0832/RM	Applicant:	Barratt Homes Bristol Division
Site:	Parcels 41-46 And 49 Charlton Hayes Filton Bristol South Gloucestershire	Date Reg:	24th February 2016
Proposal:	Erection of 205no. dwellings with associated roads, drainage, parking, garages and landscaping. (Approval of Reserved Matters to be read in conjunction with Outline Planning Permission PT03/3143/O)	Parish:	Patchway Town Council
Map Ref:	359827 181160	Ward:	Patchway
Application Category:	Major	Target Date:	24th May 2016



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 100023410, 2008. N.T.S. PT16/0832/RM

REASON FOR REFERRAL TO CIRCULATED SCHEDULE

This application appears on the circulated schedule due to the receipt of one letter of objection from a Bristol resident.

1. THE PROPOSAL

- 1.1 This application seeks Reserved Matters consent for the erection of 205 residential units with details of the siting, design, external appearance of buildings, and landscaping with associated garaging and parking. (Reserved Matters application to be read in conjunction with outline planning permission PT03/3143/O as amended).
- 1.2 The proposal is for the delivery of development areas H41 to H46 and H49 that form part of 'phase 3' of the Charlton Hayes development. The number of units on each parcel would be broken down as follows – 18 units on H41, 37 units on H42, 26 units on H43, 14 units on H44, 23 units on H45, 37 units on H36, and 50 units on H49. This site has an agreed detailed master plan and design code. The site wide master plan and Design & Access Statement (DAS) identifies both parcels as 'residential'. The parcels sit at a central position within the Charlton Hayes development wrapping around the northern side of The Crescent. The northern edge of the site abuts the edge of the central Green Spin that is to run through the whole Charlton Hayes development.
- 1.3 The scheme is made up of a total of 50 affordable units (9 on H41, 8 on H42, 3 on H43, 4 on H44, 8 on H45, 8 on H46 and 10 on H49) made up of 27x2bed units, 17x3bed units and 6x4bed units representing 25 percentage of affordable housing (which complies with the requirements of the S106 agreement). In assessing affordable housing contributions, all parcels are to be viewed comprehensively.
- 1.4 Amended plans were received during the course of the application to address a number of issues including bin storage, urban design and compliance with the design code, changes to the parking arrangement, clarification of highway surfacing materials, changes to external facing materials, inclusion of a more organic edge along the Green spine, improvements to the landscaping proposals, and various minor layout alterations to improve levels of residential amenity. Amended plans were received to address the points raised and, as changes were all very minor and do not affect the issue raised by the objector, no re-consultation was carried out.

2. POLICY CONTEXT

- 2.1 National Guidance
National Planning Policy Framework March 2012
National Planning Practice Guidance 2014
- 2.2 Development Plans
South Gloucestershire Local Plan (Adopted) January 2006 (saved policies)
EP2 Flood Risk and Development

- L1 Landscape Protection and Enhancement
- L11 Archaeology
- LC1 Provision for Built Sports, Leisure and Community Facilities
- M1 Site 4 Major Mixed Use Development Proposals at Northfield
- T12 Transportation Development Control Policy
- T7 Cycle Parking

South Gloucestershire Local Plan Core Strategy Adopted December 2013

- CS1 High Quality Design
- CS2 Green Infrastructure
- CS5 Location of Development
- CS6 Infrastructure and Developer Contributions
- CS7 Strategic Transport Infrastructure
- CS8 Improving Accessibility
- CS9 Managing the Environment and Heritage
- CS15 Distribution of Housing
- CS16 Housing Density
- CS17 Housing Diversity
- CS18 Affordable Housing
- CS24 Green Infrastructure, Sport and Recreation Standards
- CS35 Communities of the North Fringe of Bristol Urban Area

2.3 Supplementary Planning Guidance

- Residential Parking Standards SPD (Adopted) 2013
- South Gloucestershire Design Checklist SPD (Adopted) 2007
- Waste Collection: Guidance for New Developments SPD 2015
- Affordable Housing SPD Adopted

3. RELEVANT PLANNING HISTORY

- 3.1 PT03/3143/O Major mixed-use development across 81.25 hectares of land comprising 2,200 new dwellings, 66,000 sq m of employment floor space (B1, B2 and B8), 1,500 sq m of A1, A2, A3, A4 and A5 floor space: together with the provision of supporting infrastructure and facilities including; new vehicular and pedestrian accesses to Highwood Road, new link road, public open space, primary school, community building, hotel (C1) (Outline).
Approved following signing of S106 agreement March 2008.

- 3.2 PT14/1765/RM Phase 2 and 3 infrastructure highway corridor including public realm design, landscaping, street furniture and highway engineering design. (Approval of Reserved Matters to be read in conjunction with Outline Planning Permission PT03/3143/O). Approved March 2015.

- 3.3 PT15/5353/RM Laying out of the open space of The Crescent including enclosures and hard and soft landscaping. (Reserved Matters application to be read in conjunction with outline planning permission PT03/3143/O)
Approved April 2016

- 3.4 DOC16/0073 Discharge of condition 2 (Revised Sustainability Strategy) attached to planning permission PT15/1676/RM. Erection of 75 No. dwellings with garages, parking, associated engineering and landscaping. (Approval of Reserved Matters to be read in conjunction with Outline Planning Permission PT03/3143/O).
Condition discharged April 2016 securing solar panels through parcels H15 and H16

4. CONSULTATION RESPONSES

- 4.1 Patchway Town Council
No response received

- 4.2 Internal Consultees

South Gloucestershire Council Archaeology Officer
No objections

South Gloucestershire Council Housing Enabling Officer
Following amendments through the life of the application, the amended scheme along with the updated affordable housing schedule Riiiii) and affordable housing master plan are in accordance with the outline planning permission including the S106.

South Gloucestershire Council Lead Local Flood Authority
As submitted, the LLFA requested additional information. This information was received which addressed the initial concerns.

South Gloucestershire Council Environmental Protection
No objection subject to standard construction conditions (hours of construction are however controlled on the outline application so need not be repeated here)

South Gloucestershire Council Conservation Officer
No Objection

South Gloucestershire Council Waste Engineer
No objection

South Gloucestershire Council Highway Structures
No objection but If the application includes a structure that will support the highway or support the land above a highway. No construction is to be carried out without first providing the Highway Structures team with documents in accordance with BD2/12 of the Design Manual for Roads and Bridges that will allow formal Technical Approval of the proposals to be carried out. The applicant will be required to pay the fees associated with the review of the submission whether they are accepted or rejected.

South Gloucestershire Council Arts Officer
No comment to make as public art is being secured in the Green Spine and not on this application site.

South Gloucestershire Council Urban Design Officer

Subject to the design amendments that have been made throughout the course of the application, the proposals now generally comply with the design codes – no objection.

South Gloucestershire Council Landscape Officer

Confirm that the soft landscape proposals are broadly acceptable, subject to the following amendments;

1. Additional tree planting is required to rear gardens where space allows.
2. The Phormium sp. shown within front gardens should be amended to a more suitable species, as the small front gardens do not lend themselves to such a large accent shrub so close to the façade of the building.

South Gloucestershire Council Transportation Officer

As initially submitted the transport officer commented that there was some minor issues about the detailing of pedestrian crossing points, refuse storage, the demarcation of visitor parking spaces and the location of the lighting columns. On the receipt of amended plans the initial concerns are overcome.

South Gloucestershire Council Public Open Space Officer

Comments that bin collection points are located in the public open space and sought clarification on the ownership of the knee boards around the public open space.

South Gloucestershire Council Tree Officer

No objection but comments that root barriers may be appropriate given the use of Birch trees.

4.3 External Consultees

Crime Prevention Adviser

No objection but makes a number of recommendations

Environment Agency

No objection and notes the comments of the drainage engineer

Wessex Water

No comment to make

Highways England

Make no objection

Other Representations

4.4 Local Residents

One letter of objection has been received from a Bristol resident commenting on the complete lack of solar technology on the roofs of the dwellings across the Charlton Hayes development as a whole.

5. ANALYSIS OF PROPOSAL

5.1 Principle of Development

The principle of development has been established through the granting of the outline planning permission PT03/3143/O, and the approval of the amended phase 3 master plan and Design Codes (dated February 2014). The outline permission granted consent for a “Major mixed-use development across 81.25 hectares of land comprising 2,200 new dwellings, 66,000 sq m of employment floor space (B1, B2 and B8), 1,500 sq m of A1, A2, A3, A4 and A5 floor space: together with the provision of supporting infrastructure and facilities including; new vehicular and pedestrian accesses to Highwood Road, new link road, public open space, primary school, community building, hotel (C1) (Outline)”.

5.2 This application considers the Reserved Matters consent for parcels H41-46 and H49 which are all identified by way of the amended detailed master plan and design codes as being ‘residential’. The phasing strategy and accompanying schedule (page 140 of the DAS as recently amended) identifies H41 as accommodating an expected total of 20 dwellings whereas the proposal is for 18, H42 as expecting 39 but the proposal is for 37, H43 as expecting 26 and the proposal is for 26, H44 as expecting 16 but the proposal is for 14, H45 as expecting 24 but the proposal is for 23, H46 as expecting 36 but the proposal is for 37, and H49 as expecting 55 but the proposal is for 50 units. This minor deviation of 11 units across all parcels is not unusual and will be balanced out across Charlton Hayes as a whole.

5.3 The phase 3 Design Code illustrates that the parcel provides for predominantly four storey development fronting onto The Crescent with three storey development on the Main streets leading away from The Crescent. The central areas of the development (the Side streets) will be predominantly two storey, with the Parkland edge development being predominantly two storey with some three storey. The highest densities will be expected around the Main streets where densities will be around 65dph, reducing down to 40-65dph through the side streets and dropping down to 30-40 along the Parkland Edge. The proposed layout achieves these densities through the incorporation of substantial flat blocks facing around The Crescent and the remainder of the site comprising a mix of terraced, semi-detached and detached dwellings. Again in accordance with the design code, the most ‘spacious’ area of the site faces towards the Green Spine. In light of the above, it is considered the use and amount of development is generally acceptable and in accordance with the Design Code.

5.4 The proposal in terms of use, density, form and street typology accords with the site wide Design and Access Statement, amended detailed master plan and the phase 3 Design Code. It is considered that the principle of development is acceptable. The proposal is therefore acceptable subject to the following detailed assessment:

5.5 Urban Design and Visual Amenity

The Charlton Hayes Phase 3 Design Code (as amended) sets out the design considerations for Phase 3. The Design Code was approved in accordance with condition 6 of outline planning permission PT03/3143/O.

The design code includes guidance for matters such as: character areas, street types and street materials, building heights, boundary treatments, and architectural and sustainable construction principles.

- 5.6 In terms of character areas, considerable work was put in at both pre-application stage, and throughout the course of the application to ensure that the design proposal fully accords with the principles as set out in the design code. The proposal includes substantial, 4 storey tall flat blocks of high design forming an arc around the north of The Crescent. These buildings are of a unique arc shape not found elsewhere in the Charlton Hayes development forming a focal points at a central point within the development as a whole. The design of this area will aid legibility through the Charlton Hayes development and provide a visually attractive and distinctive feature.
- 5.7 Along the main street, again in accordance with the design code, every attempt has been made to ensure that there is a continuous street frontage. This is not fully achieved on parcel H41 where there are noticeable breaks in the built frontage. However, due to the awkward angle of the site and the need to ensure adequate separation distances between dwellings, your officers are satisfied that every attempt has been made to provide continuous frontages on this plot. Weight is also being given to the applicant's willingness to provide drive through's on parcels H46 and H49 to provide a more continuous frontage. No objection is therefore being made to the slight deviation from the code on parcel H41.
- 5.8 In terms of materials, again in accordance with the approved Design Code, the external finishes of the dwellings across the site are broken down into three distinct areas. During the course of the application the applicants agreed to vary the colour of the garage doors (so they match the colour of the respective front door rather than all being plain white) and to ensure that all dwellings have a window reveal of at least 75mm. The external facing materials across all parcels subject of this application have been selected to match those required through the design code and clearly stated on the materials schedule.
- 5.9 Turning to the issue of layout, the road hierarchy is as per that set out on the approved masterplan (the detailed design of the Main Streets has already been approved through a separate application – see the history section of this report). During the course of the application, the elevational treatment along the main street in parcels H46 and H49 were amended to provide a more continuous frontage through the introduction of drive through. The design of all dwellings complies with the Phase 3 design code.
- 5.10 Street Lighting
Through extensive negotiation during the course of the application, a scheme of street lighting has been produced that contains all lighting columns on land that is to be adopted and also within the red line of the application site. The resultant lighting scheme is acceptable to the Councils street care, adoption and street lighting teams.

5.11 Landscaping

In general terms, the Councils Landscape Architect considers that the proposed new planting plan provided shows an adequate level of planting across the parcel, providing street trees and hedges. During the course of the application the applicants have expressed a desire to remove trees from the rear gardens of private dwellings to enable each individual homeowner to landscape as they see fit. Although this is very regrettable, given the suitability of the landscaping that will occur within the public realm, it would be unreasonable to refuse the planning application on this basis alone. The landscaping including garden sizes and boundary treatments is in compliance with the design code. Furthermore, the planting does not conflict with drainage runs or lighting columns.

5.12 In order to ensure that the planting as approved is provided and retained, a condition will be attached requiring the replacement of any failed vegetation within the first five years of planting.

5.13 Transportation

The layout of the site in terms of highway hierarchy, highway arrangement and dimensions are all in full accordance with the Design Code and the Highway Authority raises no objections to the proposed layout. To clarify, the design and layout of the main street running along the North of the application site has already been established through a separate consent and is not therefore for consideration as part of this current application. During the course of this application, there was negotiation over the road surfacing materials and changes to the location of pedestrian crossing points to comply with the requirements of the design code.

5.14 As is common across the Charlton Hayes development, the majority of car parking for the Main Street areas is being provided in parking courts located to the rear of the dwellings accessed under FOG's (Flats over garages). The parking courts are limited in size and designed so as not to be contiguous and as a result, their visual impact is acceptable. Where parking courts are contiguous, they are separated by timber car port structures to reduce their visual impact to an acceptable level. The geometry of the parking courts has also been assessed and they allow vehicles to enter, turn and exit in a forward gear. The parking serving the side streets and parkland edge is largely to the front of the properties in a linear pattern perpendicular to the highway. Runs of parking are broken up with landscaping where possible to soften the visual impact. The site layout complies with the design and access statement and the Councils adopted Residential Parking Standards SPD.

5.15 Affordable Housing

The application has been considered by the Council's Housing Enabling Officer and extensive negotiation has been undertaken during the course of the application both in terms of the location of the affordable units and their internal layouts. In accordance with S106 legal agreement (as amended through the deed of variation) affordable housing provision on the site is required to comply with a target schedule and plan to provide 25% AH in total across the scheme.

Enabling officers confirm that the location, number and tenure of the units provided complies with the most up to date affordable housing master plan for Charlton Hayes (being base schedule revision Riiii and affordable housing master plan)

5.16 The affordable housing provision is therefore deemed to be acceptable and in compliance with the Affordable Housing Master Plan and S106 attached to the outline permission reference PT03/3143/O.

5.17 Residential Amenity

The proposed development has been designed having regard to the orientation of and relationship between the proposed dwellings. Considerable effort was made at both pre-application stage and during the course of the application to maintain maximum separation distances between habitable room windows and limit overlooking of back gardens (It is for this reason that the layout of parcel H41 deviates slightly from the design code as explained in paragraph 5.7). The proposal demonstrates acceptable amenity standards and includes sufficient provision of cycle and bin storage.

5.18 The layout of the site is in accordance with the masterplan and this ensures that only a minimum number of properties have north facing gardens. Separation distances between primary room windows are acceptable to avoid overlooking and loss of privacy. With the exception of the flat blocks, all dwellings are provided with adequate, private and useable amenity space proportionate to the size of the dwelling it serves.

5.18 Where attached garages are provided, these are kept as far forward in the plot as possible to avoid projecting significantly beyond the main rear walls of the dwellings. It is regrettable that the rear boundary of some gardens abut detached garages but, where this happens, the garages have been given hipped roofs to reduce their bulk and visual impact as far as practicably possible (It is also important to note that this arrangement is shown in the approved master plan). Accordingly, the proposal is considered acceptable in regard to residential amenity.

5.19 Drainage

The Environment Agency and the Lead Local Flood Authority (LLFA) were consulted as part of the application process. The Environment Agency raised no objection but the LLFA sought further information as no drainage calculations were provided as part of the original submission. It was requested that drainage calculations were provided to demonstrate that the drainage system has been designed so that no flooding occurs on site during the 30 year return period and no flooding to any buildings or off site during the 100year event plus 30% for climate change.

5.20 All requested information was duly received for assessment. The LLFA are happy that the additional information addressed their initial concerns but raised a further query. The applicants were then asked whether the storage crates/cells shown in the drainage are being offered up for adoption to Wessex Water, in particular the storage crates/cells or if their management be provided

by an alternative (private management company etc.) The applicants confirmed that the private/household drainage will remain private (i.e. not adopted by Wessex or management company) and that the crates will be the responsibility of a management company. In light of this additional information, the Lead Local Flood Authority are satisfied with the drainage scheme being proposed.

5.21 Ecology

The site is not covered by any statutory or non-statutory nature conservation designations and therefore there are no ecological constraints to granting planning permission subject to continued compliance with conditions 37, 38, 39, 40 attached to the outline planning permission reference PT03/3143/O.

5.22 Solar Panels and Sustainability

As noted by the objector, there is indeed a lack of solar panels across the Charlton Hayes development as a whole. This issue however was addressed through the sustainability statement attached to the Outline consent and cannot be re-considered now. For information, a separate developer on the Charlton Hayes site will be providing a 'Solar Street' as required and agreed through the S106 agreement attached to the outline consent PT13/3143/O.

6. CONCLUSION

6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.

6.2 The recommendation to grant permission has been taken having regard to the policies and proposals in the South Gloucestershire Local Plan (Adopted) January 2006 and the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013 set out above, and to all the relevant material considerations set out in the report.

7. RECOMMENDATION

7.1 That the Reserved Matters application submitted in accordance with conditions 1, 2, 3, 4 of the associated Outline Planning Permission reference PT03/3143/O dated 14th March 2008 shall be approved subject to the conditions below:

Contact Officer: Marie Bath
Tel. No. 01454 864769

CONDITIONS

1. The development hereby approved shall be implemented in strict accordance with the following documents:

All received by the Council on 18th May 2016:

0583-102revD - Planning Layout, 0583-103-1B - Street Scenes, 0583-103-2A - Street Scenes, 0583-104-1B - External Works Layout, 0583-104-2B - External Works Layout, 0583-105-1B - Vehicle Tracking Layout, 0583-105-2B - Vehicle Tracking Layout, 0583-107B - Adoption Plan, 0583-108B - Materials Layout, 0583-109B - Garages and Car Ports, 0583-112-2A - Type B, 0583-113-1A - Type C Elevations, 0583-114-1B - Type D Elevations, 0583-115-1C - Type E, 0583-115-2D - Type E, 0583-115-3C, 0583-117-1A - Type G, 0583-117-2B - Type G, 0583-117-3A - Type G, 0583-118B - Affordable Housing Layout, 0583-119B - Mitigating Crime Layout, 0583-121B - Waste Mitigation Plan, 0583-123A - Front Boundary Plan, 0583-HTB Issue 3 - Housetype Booklet, 428-002revC - Existing and Regrade Levels, 428-050-01revC - Engineering for Planning, 428-050-02revC - Engineering for Planning, 428-050-03revC - Engineering for Planning, 428-050-04revC - Engineering for Planning, 428-075revD - Drainage Strategy, 428-505revC - Impermeable Area Plan, 428-510revC - Flood Exceedance Routing Plan, 428-515revC - Catchment Plan, 428revA - Drainage Statement, GL0530-02G - Soft Landscape Proposals, GL0530-03G - Soft Landscape Proposals, SLD-274-001B - Street Lighting Design,

Received by the Council on 7th April 2016

0583-122 - Sub Station Elevations, 0583 Issue 2 - Parking Matrix, 428-200-01revA - Road and Long Sewer Sections, 428-200-02revA - Road and Long Sewer Sections, 428-200-03revA - Road and Long Sewer Sections, G4111 - Enclosure Details for Sub-Station, 0583-106revA - External Detailing, 0583-110revA - Bin and Cycle Stores, 0583-11302revA - Type C, 0583-114-2revB - Type D, 0583-114-3revB - Type D, 0583-116-2revA - type F

Received by the Council on 23rd February 2016

0583-101revA - Site Location Plan, BfL Assessment, 0583-100 Topographical Survey, 0583-111-1 - Type A Elevations, 0583-111-2 - Type A Plans, 0583-111-3 - Type A Plans, 0583-112-1 - Type B Elevations, 0583-113-3 - Type C, Statement of Compliance, 0583-116-1 - Type F, 0583-116-3 - Type F, Waste Management Audit

Reason

In the interests of clarity and to define the planning permission.

2. No individual dwelling shall be occupied until the vehicle parking and bin storage associated with that unit have been implemented in accordance with the approved plans.

Reason

In the interests of visual amenity and to ensure satisfactory parking provision. And to accord with the requirements of Policies CS1 and CS8 of the South Gloucestershire Local Plan Core strategy (Adopted) and the Residential Parking Standards SPD (Adopted).

3. Prior to the first occupation of any of the residential units on parcel H46, the sub-station shown to the south of plots 108/109 on drawings 0583-102revD and 0583-112 must be provided.

Reason

This sub-station is to allow for the necessary relocation of the existing sub-station that stands on The Crescent (approved through planning application PT15/5353/RM).

Relocation of the sub-station is necessary in accordance with the Charlton Hayes Master Plans and also in the interests of the visual amenity of the Charlton Hayes development as a whole and to accord with the requirements of Policy CS1 of the South Gloucestershire Local Plan Core Strategy (Adopted)

4. All hard and soft landscape works including street lighting shall be carried out in accordance with the approved details. On each parcel, the works shall not be carried out any later than the first available planting season following the first occupation of any dwelling on that parcel or in accordance with the programme agreed with the Local Planning Authority. Any vegetation that fails, is dying or is removed in the first five years following planting shall be replaced.

Reason

In the interests of the character and appearance of the area to accord with Policies CS1 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework.

CIRCULATED SCHEDULE NO. 20/16 – 20 MAY 2016

App No.:	PT16/1208/F	Applicant:	Mr Chris Brickell
Site:	Cedar Cottage New Road Tytherington South Gloucestershire GL12 8UP	Date Reg:	4th April 2016
Proposal:	Erection of 1no. detached garage (Amendment to previously approved scheme PT13/2411/F)	Parish:	Tytherington Parish Council
Map Ref:	366808 188491	Ward:	Ladden Brook
Application Category:	Householder	Target Date:	25th May 2016



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REASON FOR REPORTING TO CIRCULATED SCHEDULE

This application appears on the Circulated Schedule, as a result of a consultation response received, contrary to Officer recommendation.

1. THE PROPOSAL

- 1.1 The application seeks permission for the erection of a detached garage to the front curtilage of the property.
- 1.2 The application property is a relatively newly built detached dwelling (see planning history below), it is located within the settlement boundary of Tytherington and is also located with the Tytherington Conservation Area.

2. POLICY CONTEXT

2.1 National Guidance

National Planning Policy Framework March
National Planning Policy Guidance
Planning (Listed buildings and Conservation Areas) Act 1990

2.2 Development Plans

South Gloucestershire Local Plan (Adopted) January 2006

H4 – Development within Existing Residential Curtilages, Including Extensions and New Dwellings
L12 – Conservation Areas
L13 – Listed Buildings
T12 – Transportation Development Control Policy for New Development

South Gloucestershire Local Plan Core Strategy (Adopted December 2013)

CS1 – High Quality Design
CS9 – Managing the Environment and Heritage

2.3 Supplementary Planning Guidance

South Gloucestershire Design Checklist SPD
Tytherington Conservation Area Guidance Note

3. RELEVANT PLANNING HISTORY

- 3.1 PT12/2488/F - Erection of 1no. detached dwelling and associated works. Approved 17th September 2009.
- 3.2 PT13/2411/F – Erection of 1no. detached dwelling with detached garage, access, landscaping and associated works. (Resubmission of PT12/2488/F). Approved 9th September 2013.
- 3.3 PT16/0443/NMA - Non Material Amendment to PT13/2411/F to alter the design of the garage. Objection 1st March 2016.

4. **CONSULTATION RESPONSES**

4.1 Tytherington Parish Council
No comments received

4.2 Conservation Officer
Objection on the basis of the impact upon the Conservation Area.
Tree Officer
The Landscape plan shows the Root protection areas of the trees but it is not sufficient in order to fully assess the application and its impact upon the trees.

Archaeology Officer
No objection

Sustainable Transportation
We have now examined this planning application and note that it represents a resubmission of a previously approved scheme (ref PT13/2411/F) which itself was a revision of an older application (PT12/2488/F) which was also approved.

In response of the 2013 planning application we noted that the proposed garage did not fully conform to the Councils standard dimensions. However, as it could accommodate a standard size car as well as providing space for bicycles and general storage, we accepted that it was a viable parking space.

In addition, we considered that the Councils parking standards meant that this development should be provided with three car parking spaces. Although the applicants indicated that there was sufficient space to allow for this, it was not clear how this would be achieved, so it was likely that parking would take place in the proposed turning area. This in turn could lead to the unsatisfactory position of vehicles reversing onto New Road. However, as New Road was lightly trafficked by relatively low road speed movements, we believed that this would raise few safety issues and was acceptable in this case.

We note that the current application seeks a minor alteration to orientation of proposed garage to improve standing height adjacent to parking area within garage. Consequently, we do not consider that this will materially alter our opinion of these proposals and we have no highway or transportation comments about them.

Lead Local Flood Authority
No objections in principle, subject to informatives relating to building over or in close proximity to public sewer

Other Representations

4.3 Local Residents
On letter of support has been received, as follows
'Looks a very good plan and fully support the proposal.'

5. ANALYSIS OF PROPOSAL

5.1 Principle of Development

Policy H4 of the SGLP states that such development within residential curtilages can be acceptable subject to detailed development control consideration of, amongst other things, design, local and residential amenity and highways impact. In this instance the application must also be considered in context with Policies L12 of the SGLP and CS9 of the Core Strategy, as the site is located within Tytherington Conservation Area.

5.2 Given the location of the proposals and their relationship with and distance to surrounding properties it is not considered that they would give rise to any residential amenity impact. Similarly, as the proposal is for a garage and the same level of off-street parking would remain, there are not considered to be any transportation impacts associated with the proposal. The main issue therefore is the principle of the proposal in context with the site and its surroundings, and in particular conservation and built heritage considerations. The applicants have stated that this is an amendment to the previous permission (PT13/2411/F), for the dwelling that has subsequently been built. The application form suggests a 'minor alteration of the previously proposed garage to improve standing height adjacent to parking space within the garage'. This follows an earlier submission for this to be included as a Non Material Amendment, as outlined in the history section above to which objection was raised. Further assessment of the previously approved plans however serves to highlight that the garage was omitted from the final approved plans the subject of the previous consent and moreover this was done in conjunction with consultation and recommendation from the Council's Conservation Officer, the principle at the time, of the garage as proposed, therefore being considered unacceptable. This application again proposes a garage to the front elevation. In light of this new submission the further Conservation Area considerations are provided below.

5.3 Conservation/ Built Heritage Issues

This is a new dwelling in the Tytherington Conservation Area that was approved in 2013 and constructed c2014/5. The original scheme was subject to extensive negotiation with the council to achieve a design and appearance that respected the character and appearance of the conservation area and protected some of the openness of the locality. To this end, a garage that was originally proposed as part of the application was removed from the scheme as a result of the harmful impact on the openness of the site and the character of the conservation area.

5.4 This application now seeks permission to introduce a garage to the front of the building in a relatively small area containing mature trees and planting. The character of this part of the conservation area is defined by its rural, informal appearance with open space and trees providing a soft, green edge to the settlement. Buildings tend to be set back from the road with open gardens, as per the application site.

- 5.5 The proposal would introduce a single bay garage with lean-to store into a small front garden directly in front of the dwelling. The proposal would be an imposing and incongruous addition to the site that would detract from the appearance of the dwelling and would fail to protect the open character and appearance of this part of the conservation area.

6. CONCLUSION

- 6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.
- 6.2 The proposal would be an imposing and incongruous addition to the site that would detract from the appearance of the dwelling and would fail to protect the open character and appearance of this part of the conservation area, the proposal also fails to satisfactorily address any potential impact upon the trees within the site and is contrary to Policy L12 of the South Gloucestershire Local Plan (Adopted) January 2006 and Policies CS1 and CS9 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013.
- 6.3 The recommendation to refuse permission has been taken having regard to the policies and proposals in the South Gloucestershire Local Plan (Adopted) January 2006 set out above, and to all the relevant material considerations set out in the report.

7. RECOMMENDATION

- 7.1 That planning permission is refused for the reasons given.

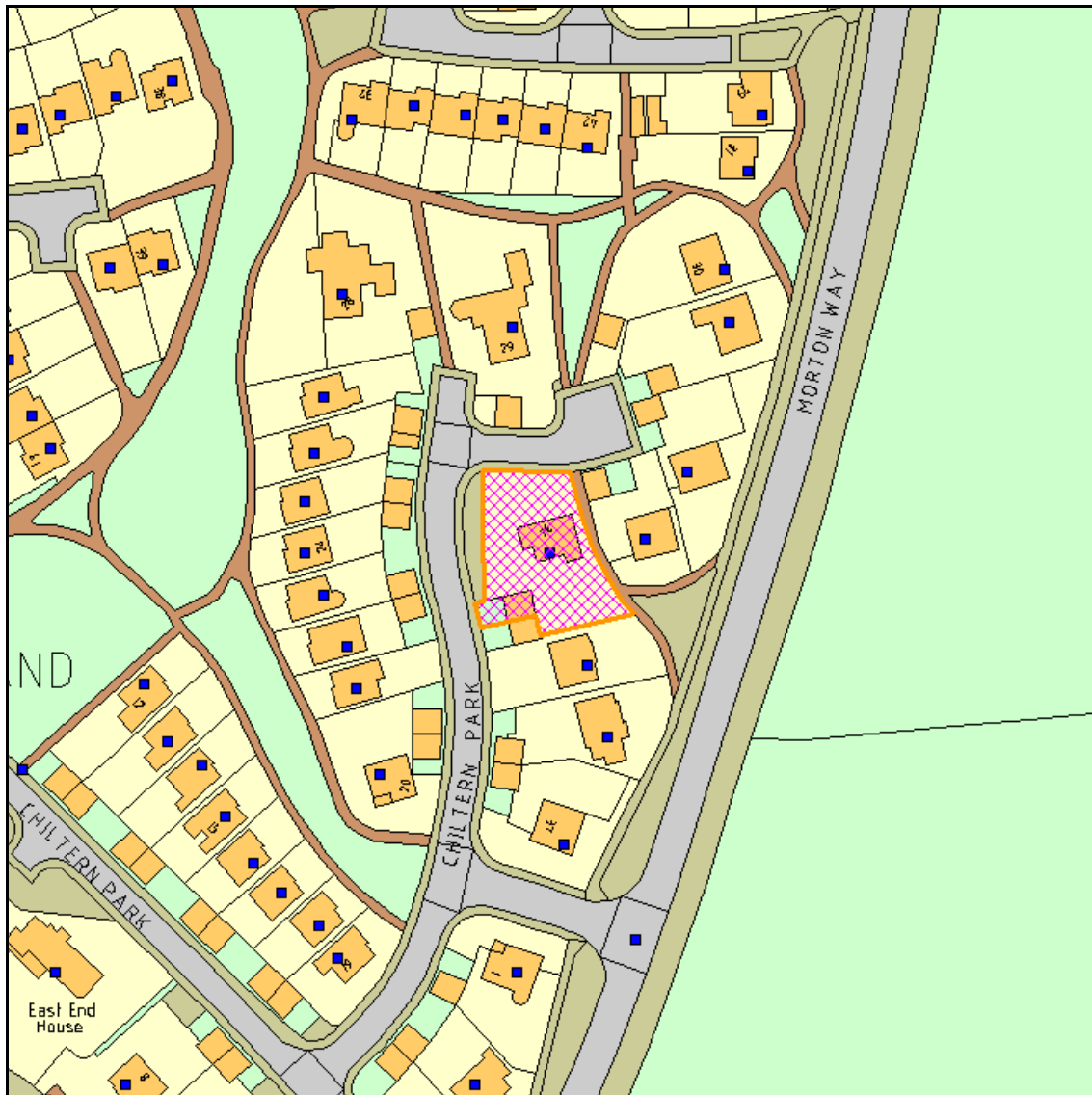
Contact Officer: Simon Ford
Tel. No. 01454 863714

REFUSAL REASONS

1. The proposal would be an imposing and incongruous addition to the site that would detract from the appearance of the dwelling and would fail to protect the open character and appearance of this part of the conservation area, the proposal also fails to satisfactorily address any potential impact upon the trees within the site and is contrary to Policy L12 of the South Gloucestershire Local Plan (Adopted) January 2006 and Policies CS1 and CS9 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013.

CIRCULATED SCHEDULE NO. 20/16 – 20 MAY 2016

App No.:	PT16/1512/F	Applicant:	Mr John Dykes
Site:	34 Chiltern Park Thornbury Bristol South Gloucestershire BS35 2HX	Date Reg:	11th April 2016
Proposal:	Erection of single storey rear and side extension, and single storey front extension to form additional living accommodation.	Parish:	Thornbury Town Council
Map Ref:	365077 189685	Ward:	Thornbury South And Alveston
Application Category:	Householder	Target Date:	2nd June 2016



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REASON FOR REPORTING TO CIRCULATED SCHEDULE

This application appears on the Circulated Schedule as a result of an objection received, from the Town Council, contrary to Officer recommendation.

1. THE PROPOSAL

- 1.1 The application is for the erection of a single storey rear and side extension, and single storey front extension to form additional living accommodation.
- 1.2 The property is a relatively modern, volume built, detached brick dwelling located on a cul-de-sac, containing similar properties within the residential area of Thornbury.

2. POLICY CONTEXT

- 2.1 National Guidance
National Planning Policy Framework
National Planning Policy Guidance
- 2.2 Development Plans
South Gloucestershire Local Plan (Adopted) January 2006
H4 Development within Existing Residential Curtilages, Including Extensions and New Dwellings
T12 Transportation

South Gloucestershire Local Plan Core Strategy Adopted December 2013
CS1 High Quality Design
CS8 Access/Transport
- 2.3 Supplementary Planning Guidance
South Gloucestershire Design Checklist (Adopted) 2007.
South Gloucestershire Parking Standards SPD

3. RELEVANT PLANNING HISTORY

- 3.1 N801/139 – Single storey side extension to form conservatory. Approved 1st December 1983.
- 3.2 PT99/0435/F – Single storey front porch. Approved 24th January 2000.
- 3.3 PT12/3908/F – Single storey side and rear extension. Approved 18th January 2013.

4. CONSULTATION RESPONSES

- 4.1 Thornbury Town Council
Object to the new side wall of the property forming a wall along the footpath that may appear overbearing to walkers. The fence replacing a wall is inappropriate alongside the footpath, which could be easily damaged and could become unsightly very quickly.

Where a fence has been allowed in another application on this estate it was in a location that is set back from the footpath and is masked/enhanced by soft planting in front of it. This is not possible in this location. If fences replaced walls alongside more of the many footpaths on the estate it would adversely affect the cohesive design of the area and could rapidly lead to a very untidy landscape.

This is a large plot but the property is nearly doubling in size and this should be carefully considered.

Archaeology Officer

No archaeological objections

Tree Officer

In order to undertake this development all trees on site are proposed for removal. The trees on site are low quality and should not be considered a constraint to this development.

Other Representations

4.2 Local Residents

No comments received

5. ANALYSIS OF PROPOSAL

5.1 Principle of Development

Policy H4 of the South Gloucestershire Local Plan (Adopted) 2006 advises that proposals should respect the massing, scale, proportions, materials and overall design of the existing property and the character of the street scene and surrounding area, they shall not prejudice the amenities of nearby occupiers, and shall not prejudice highway safety nor the retention of an acceptable level of parking provision or prejudice the retention of adequate amenity space.

5.2 Design

The proposals are considered to be of an appropriate standard in design and are not out of keeping with the character of the main dwelling house and surrounding properties.

The most prominent aspect would be the proposal to the front extension (the side extension wall/boundary to footpath is discussed below). A garden room at single storey level would sometimes be considered to be out of character on a front elevation. In this case, whilst it is somewhat unusual in appearance the detached house is set back from an obvious street frontage. It would be visible to the pedestrianized area to the front, but even then it is set within ample grounds such that it would not be harmful to the street scene.

The proposals are of an acceptable size in comparison to the existing dwelling and the site and surroundings. Materials proposed, including tiles to match with a mixture of brick and render, would be acceptable.

5.3 Residential/Local Amenity

The length, size, location and orientation of the proposals are not considered to give rise to any significant or material overbearing impact on adjacent properties. Further to this sufficient garden space remains to serve the property.

5.4 The planning application does not include provision for a fence along a footpath that exists between the outside curtilage wall of the application property and the side wall of a neighbouring garage, nor do the accompanying plans appear to incorporate this. Instead of the peripheral existing curtilage wall which immediately abuts the through - path, this would be replaced by the side wall of the proposed extension which would be rendered and would form the boundary between the property and the pathway. Whilst this would be higher than the existing curtilage wall, taking into account the existing situation, the size and length, this would not be unacceptable. The proposed scheme is single storey and leaves sufficient amenity space within the plot and such is considered acceptable in context with existing plot and the surrounding area.

5.5 Transportation

There would be no alteration to the existing or required parking provision associated with the site.

6. CONCLUSION

6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.

6.2 The proposals are of an appropriate standard in design and are not out of keeping with the main dwelling house and surrounding properties. Furthermore the proposal would not harm the amenities of the neighbouring properties by reason of loss of privacy or overbearing impact. Adequate parking can be provided on the site. As such the proposal accords with Policies H4 and T12 of the South Gloucestershire Local Plan (Adopted) 2006 and CS1 and CS8 of the South Gloucestershire Local Plan Core Strategy Adopted December 2013.

6.3 The recommendation to grant permission has been taken having regard to the policies and proposals in the South Gloucestershire Local Plan (Adopted) January 2006 set out above, and to all the relevant material considerations set out in the report.

7. RECOMMENDATION

7.1 That planning permission is granted, subject to the conditions recommended.

Contact Officer: Simon Ford
Tel. No. 01454 863714

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

To comply with the requirements of Section 91 of the Town & Country Planning Act 1990 (as amended).

2. The tiles and bricks to be used in the construction of the extension hereby permitted shall match those used in the existing building.

Reason

To ensure a satisfactory standard of external appearance and to accord with Policy CS1 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013; and the National Planning Policy Framework.

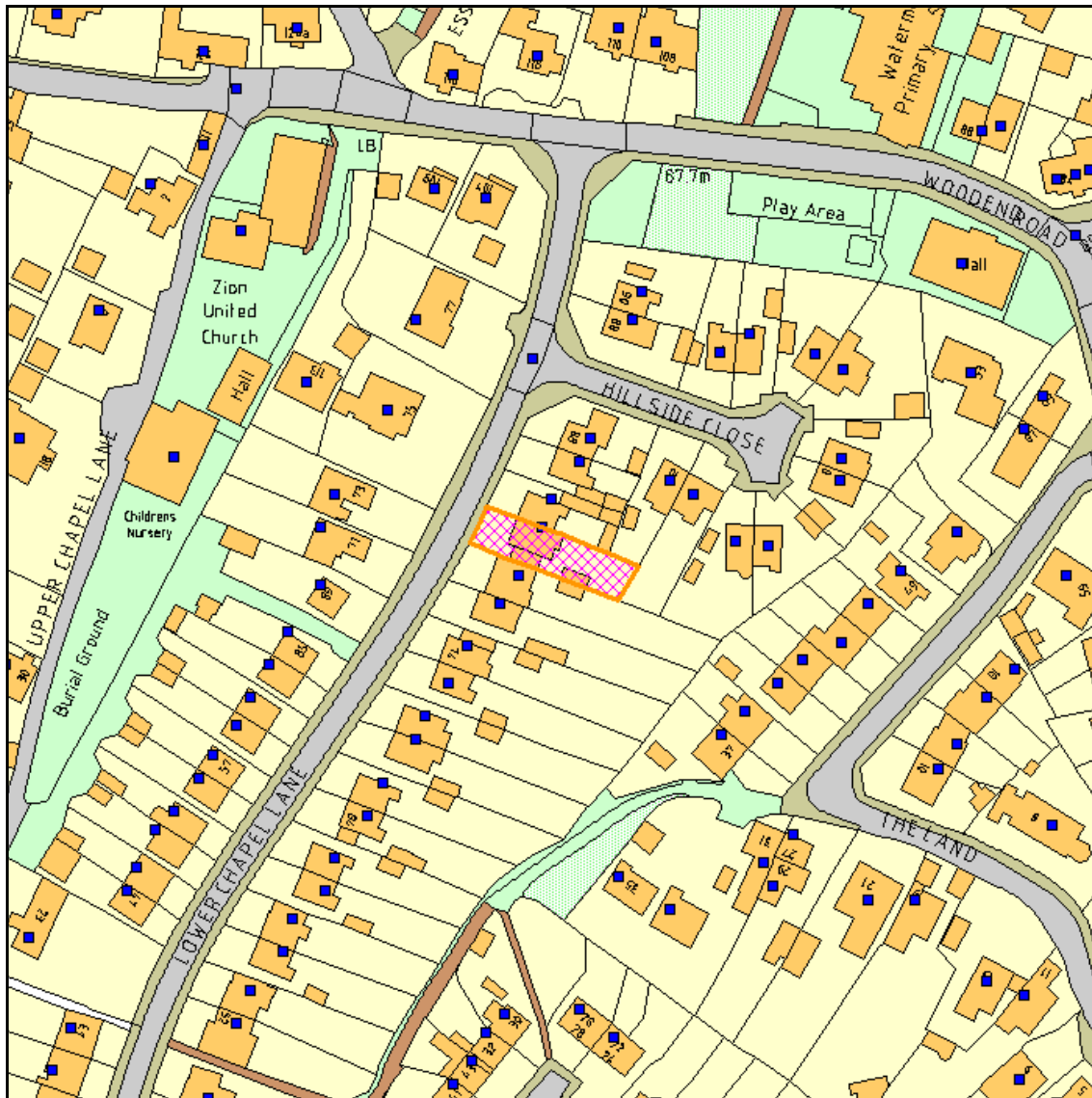
3. The hours of working on site during the period of construction shall be restricted to 08.00 - 18.00 Mondays to Fridays; 08.00 - 13.00 Saturdays and no working shall take place on Sundays or Public Holidays. The term 'working' shall, for the purpose of clarification of this condition include: the use of any plant or machinery (mechanical or other), the carrying out of any maintenance/cleaning work on any plant or machinery deliveries to the site and the movement of vehicles within the curtilage of site

Reason

To protect the amenities of the occupiers of nearby dwelling houses, and to accord with Policy H4 of the South Gloucestershire Local Plan (Adopted) January 2006; and the provisions of the National Planning Policy Framework.

CIRCULATED SCHEDULE NO. 20/16 – 20 MAY 2016

App No.:	PT16/1528/F	Applicant:	Mr And Mrs Roberts
Site:	80 Lower Chapel Lane Frampton Cotterell Bristol South Gloucestershire BS36 2RH	Date Reg:	8th April 2016
Proposal:	Erection of two storey side and single storey front and rear extension to form additional living accommodation and storage area	Parish:	Frampton Cotterell Parish Council
Map Ref:	367235 181211	Ward:	Frampton Cotterell
Application Category:	Householder	Target Date:	31st May 2016



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REASON FOR REPORTING TO CIRCULATED SCHEDULE

The application was subject to a comment contrary to the findings of the following report. Under the current scheme of delegation it is a requirement that the application is referred as a result.

1. THE PROPOSAL

- 1.1 The proposal seeks to erect a two storey side extension and a single storey front and rear extension to provide additional living accommodation.
- 1.2 The subject property is a two storey late-20th century semi-detached property with a gabled roof and red tile covering. The property has part brick and part rendered elevations. There is a single storey car port linking the dwelling with the adjacent semi-detached pair and a single storey front porch and rear extension. The loft has also been converted with a box dormer window to the rear and 2no. rooflights to the front.
- 1.3 To the rear of the property is an area of private garden. Boundary treatments are a combination of low garden walls, hedges and timber fences.
- 1.4 The site is located within the built up residential area of Frampton Cotterell.

2. POLICY CONTEXT

2.1 National Guidance

National Planning Policy Framework March 2012

National Planning Policy Guidance 2014

2.2 Development Plans

South Gloucestershire Local Plan (Adopted) January 2006 (saved policies)

H4 Development within Existing Residential Curtilages

T12 Transportation

South Gloucestershire Local Plan Core Strategy Adopted December 2013

CS1 High Quality Design

CS4a Presumption in Favour of Sustainable Development

CS5 Location of Development

CS8 Improving Accessibility

CS9 Managing the Environment and Heritage

2.3 Supplementary Planning Guidance

Design Checklist SPD (adopted) August 2006

Residential Parking Standards SPD (adopted) December 2013

3. RELEVANT PLANNING HISTORY

- 3.1 PT07/3503/F – Refusal – 21/12/2007 – Erection of rear conservatory – *Refused on the basis that it proposal would have an unacceptable impact on the amenities of the adjoining occupier.*

- 3.2 N8641 – Approval – 26/05/1983 – Erection of rear extension to form enlarged dining room. Erection of front entrance porch.

4. CONSULTATION RESPONSES

- 4.1 Frampton Cotterell Parish Council
No Objection subject to adequate off street parking.

4.2 Other Consultees

Transportation DC

No Objection subject to a recommended condition.

Other Representations

4.3 Local Residents

One Objection received commenting that the proposal would result in a negative impact on the amenities of the adjoining occupier by means of loss of light/overbearing.

5. ANALYSIS OF PROPOSAL

5.1 Principle of Development

Policy CS1 'High Quality Design' of the South Gloucestershire Core Strategy (adopted December 2013) states development proposals will only be permitted where the highest possible standards of design and site planning are achieved. Proposals should demonstrate that they; enhance and respect the character, distinctiveness and amenity of both the site and its context; have an appropriate density and its overall layout is well integrated with the existing development. Saved Policy H4 of the South Gloucestershire Local Plan (adopted 2006) is supportive in principle of development within the residential curtilage of existing dwellings. This support is subject to the proposal respecting the existing design of the dwelling and that it does not prejudice the residential and visual amenity; adequate parking provision; and has no negative effects on transportation. The proposal accords with the principle of development subject to the consideration below.

5.2 Design and Visual Amenity

There are a number of extensions to properties in the area. The adjacent property has been very similarly extended to the side and the host property has a rear extension protruding further than the proposed rear extension. The front single storey extension will project as far as the existing front porch and is not considered to result in a negative impact on the character and visual amenity of the host dwelling. Extensions would not be considered out of keeping with the character of the area.

- 5.3 The proposal consists of the erection of a two storey side extension and single storey front and single storey rear extension. The extension will be set back from the existing front elevation and will house a single integral garage (that is below the requirements for a parking space).

A further projection will be created to extend the existing porch to the side and a further single storey extension to the rear.

- 5.4 The single storey rear extension will not project as far as the furthest extent of the existing rear projection. The front extension will project as far as the front porch and would not result in an unacceptable negative impact on the visual amenity of the host dwelling.
- 5.5 The proposal has put forward materials of a similar appearance with respect of the roof, rainwater goods and elevations and there is no objection with regard to materials.
- 5.6 The two storey side extension will not project further than the existing front elevation. The ridge height will be subservient to the existing roof and set further back from the road. Overall, it is considered that the proposed extension would not harm the character or appearance of the area or the subject property and as such is considered acceptable in terms of visual amenity and design. Therefore, it is judged that the proposal has an acceptable standard of design and is considered to be 'in keeping' with policies CS1 and H4, conforming to the criteria in the adopted Local Plan.
- 5.7 Residential Amenity
Policy H4 of the adopted Local Plan gives the Council's view on new development within existing residential curtilages. Proposals should not prejudice the residential amenity (through overbearing, loss of light and loss of privacy) of neighbouring occupiers as well as the private amenity space of the host dwelling. The property has a significant degree of separation with properties directly to the rear and would not result in loss of privacy to properties bounding the rear of the residential curtilage.
- 5.8 The additions to the front of the property will not project further than the front elevation. That said the proposal has drawn objection from the neighbour on the basis that it may result in loss of light to the living area. The orientation of the host dwelling and adjacent property in relation to the path of the sun it is considered that the proposed front extension would not significantly impact the existing arrangement due to the existing single storey front porch. Given that the proposal will only project by around 1.6 metres and is of only a single storey scale it is not considered to have an unacceptable impact on the residential amenity of the adjoining occupier and is therefore acceptable.
- 5.9 The other adjacent property has been similarly extended and the proposal is not considered to result in any negative impact on their residential amenity. It has been considered that the proposal would not result in the loss of sufficient private outdoor amenity space and as such would be acceptable. The subject property is located within a built up residential area and given the scale and location of the proposed development will not result in an unacceptable detrimental impact on the residential amenity of its neighbouring occupiers, meaning the proposal is in accordance with saved policy H4 of the adopted Local Plan.

5.10 Sustainable Transport and Parking Provision

Currently the property has an area of hardstanding to the front of the property, a detached single storey garage to the rear and a car port to the side. The proposal will impact on this arrangement due to the loss of access to the rear and the introduction of a garage below requirements to the side, however further hardstanding will be provided to the front providing sufficient parking for the resultant development and as such there are no adverse highway concerns to address. Given the proposal will include an additional bedroom, it would be required to provide private parking spaces in accordance with the Residential Parking Standards SPD (adopted) December 2013. For a 5 bedroom house, 3 spaces are required; the arrangement of hardstanding providing space for three cars satisfies the requirement and further parking provision would not be required, meaning the proposal is in accordance with saved policy T12 of the Local Plan (2006).

5.11 Comments from the transport officer indicate that a condition indicating that the drop-kerb also requires permission from the Council's Streetcare department should be appended to the decision notice. This is not required to be attached as a condition and will be provided as an informative. You should note that this permission is required prior to the commencement of any works to the highway. There is no objection to the proposal with regard to highway safety nor the provision of sufficient private car parking spaces subject to an informative relating to the drop-kerb being provided on the decision notice.

6. CONCLUSION

6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.

6.2 The recommendation to **grant** permission has been taken having regard to the policies and proposals in the South Gloucestershire Local Plan (Adopted) January 2006 and the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013 set out above, and to all the relevant material considerations set out in the report.

7. RECOMMENDATION

7.1 That the application be **APPROVED** subject to the conditions attached to the decision notice.

Contact Officer: **Hanni Osman**
Tel. No. **01454 863787**

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

To comply with the requirements of Section 91 of the Town & Country Planning Act 1990 (as amended).

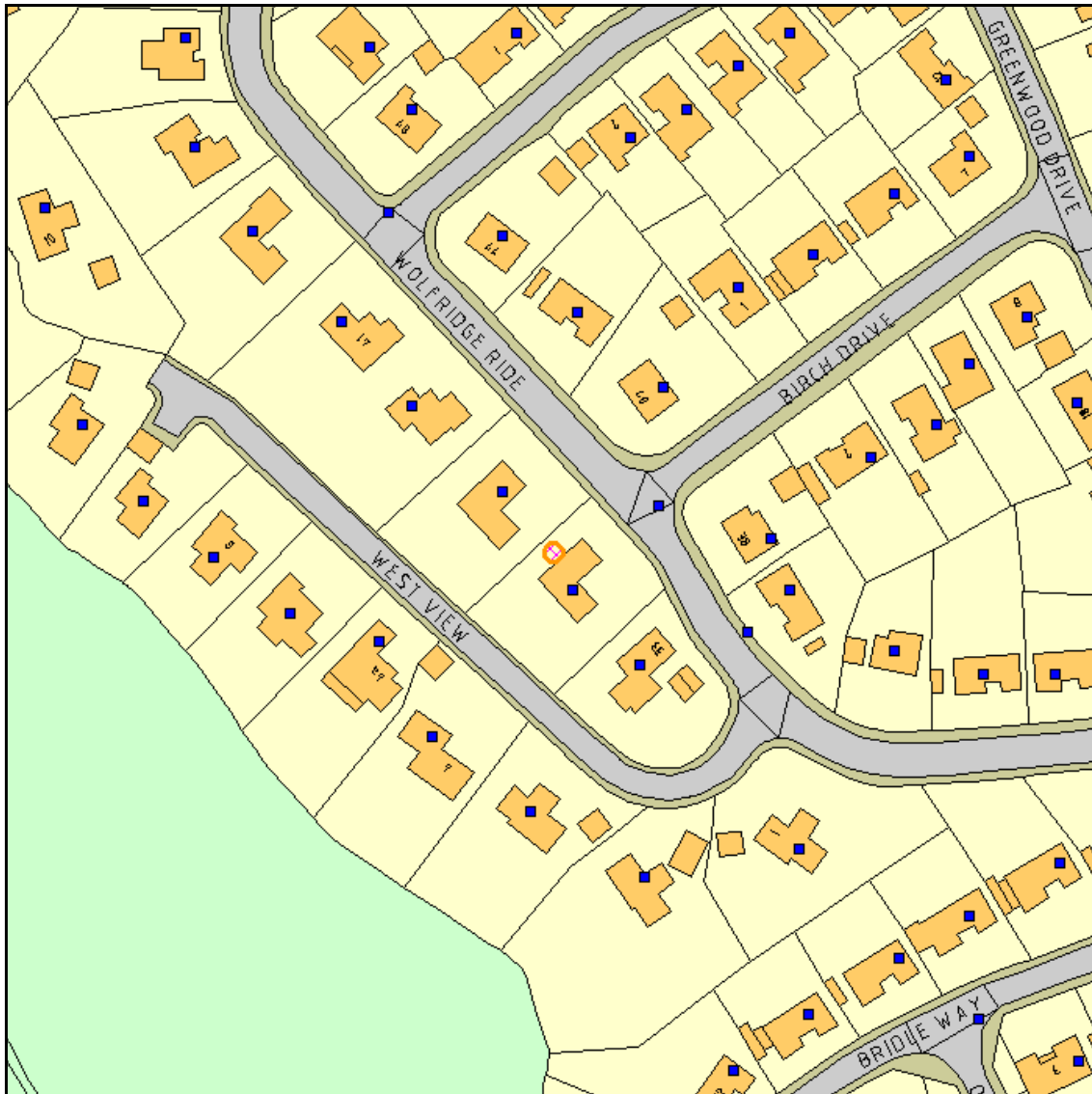
2. The hours of working on site during the period of construction shall be restricted to 7:30 - 18:00 Monday to Friday, 08:00 to 13:00 on Saturdays; and no working shall take place on Sundays or Public Holidays. The term 'working' shall, for the purpose of clarification of this condition include: the use of any plant or machinery (mechanical or other), the carrying out of any maintenance/cleaning work on any plant or machinery deliveries to the site and the movement of vehicles within the curtilage of site

Reason

To protect the amenities of the occupiers of nearby dwelling houses, and to accord with Policy H4 of the South Gloucestershire Local Plan (Adopted) January 2006; and the provisions of the National Planning Policy Framework.

CIRCULATED SCHEDULE NO. 20/16 – 20 MAY 2016

App No.:	PT16/1959/TRE	Applicant:	Bennetts Garden Services
Site:	35 Wolfridge Ride Alveston Bristol South Gloucestershire BS35 3RL	Date Reg:	27th April 2016
Proposal:	Works to fell 1no. beech tree covered by a Tree Preservation Order TPO dated 13 January 1971	Parish:	Alveston Parish Council
Map Ref:	362843 187782	Ward:	Thornbury South And Alveston
Application Category:	Works to trees	Target Date:	22nd June 2016



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REASON FOR REPORTING TO THE CIRCULATED SCHEDULE

Comments of objection have been received which are contrary to the officer's recommendations. Therefore this application is being referred to the circulated schedule.

1. THE PROPOSAL

- 1.1 Works to fell 1no. beech tree covered by a Tree Preservation Order TPO dated 13 January 1971

2. POLICY CONTEXT

- 2.1 National Guidance
 - i. The Town and Country Planning Act 1990
 - ii. The Town and Country Planning (Tree Preservation) (England) Regulations 2012.

3. RELEVANT PLANNING HISTORY

- 3.1 PT12/3757/TRE, Decision: COND, Date of Decision: 11-JAN-13, Proposal: Works to 1no. Beech tree to reduce crown by 30% covered by Tree Preservation Order TPO37 dated 13 January 1971.
- 3.2 PT11/0769/TRE, Decision: COND, Date of Decision: 10-MAY-11, Proposal: Works to crown lift to a maximum of 3 metres 1 no. beech tree and pollard back to old points 1 no. Ash tree covered by Tree Preservation Order TPO 37 (Wolfridge Wood) Tree Preservation Order dated 13 January 1971.

4. CONSULTATION RESPONSES

- 4.1 Town Parish Council
Objection unless the tree is found to be diseased

Other Representations

- 4.2 Local Residents
A letter of objection has been received stating that no supporting tree report has been submitted to substantiate the claims that the tree is dangerous.

5. ANALYSIS OF PROPOSAL

- 5.1 Principle of Development
The only issues to consider are whether the proposed works would have an adverse impact on the health, appearance, or visual amenity offered by the tree to the locality and whether the works would prejudice the long-term retention of the specimen.
- 5.2 Consideration of Proposal
The subject tree occupies a prominent location along Wolfridge Ride and offers significant amenity to the area.

- 5.3 Upon inspection of the tree a large basal cavity was evident between the buttress roots with brackets of *Ganoderma* spp fungi within the cavity. *Ganoderma* is a fungal decay pathogen, common on beech trees, which can cause failure of the stem. The tree is in very close proximity to the house.
- 5.4 It is very difficult to argue that this tree can be safely retained for a further 10 years.
- 5.5 A replacement tree, the species, size and location to be agreed in writing with SGC, will be required and will be subject to the same Tree Preservation Order.

6. **RECOMMENDATION**

- 6.1 That permission is GRANTED subject to conditions detailed in the decision notice.

Contact Officer: Phil Dye
Tel. No. 01454 865859

CONDITIONS

1. The works hereby authorised shall be carried out within two years of the date on which consent is granted.

Reason

To protect the character and appearance of the area to accord with Policies CS1 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework.

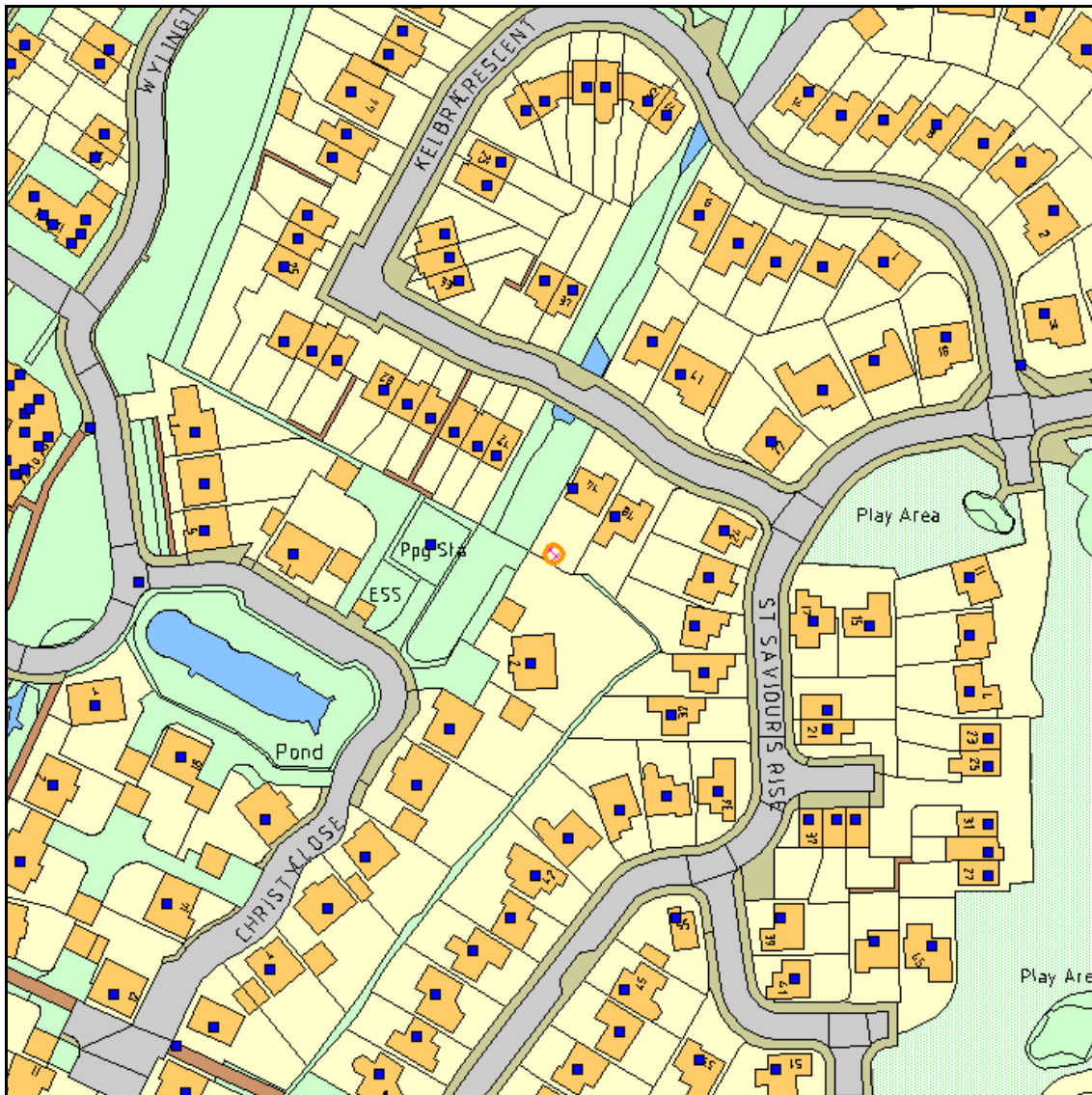
2. A replacement tree, the species, size and location of which is to be approved in writing by the Local Planning Authority, shall be planted in the first planting season following the felling hereby authorised.

Reason

To protect the character and appearance of the area to accord with Policies CS1 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework.

CIRCULATED SCHEDULE NO. 20/16 – 20 MAY 2016

App No.:	PT16/1961/TRE	Applicant:	Mr Georgiou
Site:	74 Kelbra Crescent Frampton Cotterell South Gloucestershire BS36 2TS	Date Reg:	27th April 2016
Proposal:	Works to crown reduce 1no. Oak tree by 1m to leave a height of 10m and radial spread of 10m covered by Tree Preservation Order SGTPO01/10 dated 13/07/2010	Parish:	Frampton Cotterell Parish Council
Map Ref:	366795 180804	Ward:	Frampton Cotterell
Application Category:	Works to trees	Target Date:	22nd June 2016



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REASON FOR REPORTING TO CIRCULATED SCHEDULE

Comments of objection have been received which are contrary to the officer's recommendations. Therefore this application is being referred to the circulated schedule.

1. THE PROPOSAL

- 1.1 Works to crown reduce 1no. Oak tree by 1m to leave a height of 10m and radial spread of 10m covered by Tree Preservation Order SGTPO01/10 dated 13/07/2010

2. POLICY CONTEXT

2.1 National Guidance

- i. The Town and Country Planning Act 1990
- ii. The Town and Country Planning (Tree Preservation) (England) Regulations 2012.

3. RELEVANT PLANNING HISTORY

- 3.1 None recent

4. CONSULTATION RESPONSES

- 4.1 Town Parish Council
No objections

Other Representations

4.2 Local Residents

A letter of objection has been received concerning the impact these works may have on the visual amenity of the tree and the wildlife that benefits from it. The letter also expresses concern over the setting of a precedent for other trees in the area to be pruned.

5. ANALYSIS OF PROPOSAL

5.1 Principle of Development

The only issues to consider are whether the proposed works would have an adverse impact on the health, appearance, or visual amenity offered by the tree to the locality and whether the works would prejudice the long-term retention of the specimen.

5.2 Consideration of Proposal

The subject tree is growing in the rear garden of 74 Kelbra Crescent and overhanging the rear garden of 2 Christy Close. It is a mature oak tree with a low, spreading crown.

- 5.3 The tree has been crown reduced in the past and regrowth from this is approximately 1.5m in length.

- 5.4 Given that the tree has been previously pruned it is good arboricultural practice to re-prune in order to avoid the new growth failing at their attachment points. Pruning should not go beyond the previous pruning points.
- 5.5 The proposed works are minor and is not considered detrimental to the health of the tree nor the amenity it offers to the local landscape. All pruning must be undertaken to BS3998:2010

6. RECOMMENDATION

- 6.1 That permission is GRANTED subject to conditions detailed in the decision notice.

Contact Officer: Phil Dye
Tel. No. 01454 865859

CONDITIONS

1. The works hereby authorised shall be carried out within two years of the date on which consent is granted.

Reason

In the interests of the long term health of the tree, and to accord with The Town and Country Planning (Tree Preservation) (England) Regulations 2012.

2. The works hereby authorised shall comply with British Standard 3998: 2010 - Recommendations for Tree Work.

Reason

To ensure the works are carried out in an appropriate manner and in the interests of the health and visual amenity of the tree, and to accord with The Town and Country Planning (Tree Preservation) (England) Regulations 2012.