

List of planning applications and other proposals submitted under the planning acts to be determined by the director of environment and community services

CIRCULATED SCHEDULE NO. 36/19

Date to Members: 06/08/2019

Member's Deadline: 11/09/2019 (5.00pm)

The reports listed over the page form the 'Circulated Schedule' a procedure agreed by Council in July 2018. Under the arrangement certain reports are circulated on a weekly basis. The reports assess the application, considers representations which have been received, and make a recommendation regarding the proposal.

Having considered the reports, those applications that Councillors feel should be referred to the relevant Planning Committee must be notified to the Strategic Planning section by email within five working days of the publication of the schedule (by 5pm) in line with the procedure set out below. If there has been no valid Member request for referral within the time period, the decision notices will be issued in line with the recommendation in this schedule.

Before referring an item to the Committee, it is recommended that Members speak to an officer about the issue, to explore whether any problems can perhaps be resolved without the need for referral to a Committee.

PLEASE NOTE: The circulated schedule process is only open to elected Members of South Gloucestershire Council.

NOTES FOR COUNCILLORS

– formal arrangements for referral to committee

If any Member requires any of the proposals listed in the Schedule to be considered by the appropriate planning committee then a referral should:

- a) Be made in writing using the attached form by emailing MemberReferral@southglos.gov.uk identifying the application reference and site location
- b) Within 5 working days of the date of this schedule e.g. if the schedule is published on a Friday, comments have to be received by end of the following Thursday (see cover page for the date)
- c) The request in writing must be made in writing by at least two or more Members, not being Members of the same ward
- d) In addition, the request in writing must have the written support of at least one of the Development Management Committee Chair and Spokes Members
- e) The referral should include the reasons for the referral why it would not be appropriate to permit the proposal to be determined under the delegated arrangements; the issue the proposal raises in relation to the relevant policy context and the balanced consideration that has been given to the extra costs and delay to the referral
- f) Indicate whether you have discussed the application(s) with the Case Officer and/or Development Manager
- g) Indicate whether you have discussed the application(s) with ward Member(s) if the site is outside of your ward

The Circulated Schedule will always contain the following applications unless the application is required to be determined by Committee:

- 1) Any application submitted by, or jointly, or on behalf of the Council.
- 2) Any application submitted by or any matter directly affecting or involving any

Member of the Council and any application(s), submitted by an Officer of the Council working in the Strategic Planning area (specifically the Policy and Specialist Advice, Development Management, Strategic Major Sites and Planning Enforcement, Validation & Registration and Planning Technical Support teams) or any Member or Officer of the Council acting as a planning agent.

- 3) Any application requiring a new planning agreement.
- 4) Any applications requiring a modification of an existing planning agreement where in the opinion of the Director, there would be a detriment to the public benefits secured.

5) Any application where the proposed decision of the Director would, in his opinion, be contrary to the policies of the Council as expressed in the Development Plan and/or any emerging plan and require referral to the Secretary of State following approval in principle by the Council for the purposes of development control decision making.

6) Any applications, except those listed below a-f where three or more representations contrary to the Officers recommendation are received within the notification period other than from officers of the Council acting in their professional capacity.

7) Any applications, except those listed below a-f where a representation is received within the notification period which is contrary to the officers recommendation from the Parish or Town Council within whose boundary the proposal lies wholly or in part.

8) Any applications, except those listed below a-f where a representation is received within the notification period which is contrary to the officer's recommendation from any Member of South Gloucestershire Council.

Applications that will not appear of the Circulated Schedule procedure as a result of representations received:

- a. All applications, where approval is deemed to be granted upon the expiry of a defined period
- b. All applications to be determined the lawfulness of a proposed or existing use of a site
- c. All applications for non-material amendments
- d. All applications to discharge planning conditions
- e. All applications solely required because of the removal of Permitted Development Rights or Article 4 direction
- f. Any footpath stopping up or diversion required to implement an approved scheme

Additional guidance for Members

Always make your referral request by email to MemberReferral@southglos.gov.uk (not individual email addresses), where referrals can be picked up quickly by the Technical Support Team.

When emailing your circulated referral request, please ensure you attach the written confirmation from the Supporting Member(s) and Supporting Chair or Spokes

Please note a copy of your referral e mail will appear on the website.

Before referring an application always contact the case officer or Development Manager first to see if your concerns can be addressed without the application being referred.

If you are considering referring in an application outside the ward you represent, as a courtesy, speak to the ward Member(s) to see what their views are, before referring the application.

Always make your referral request as soon as possible, once you have considered all the application details and advice of the case officer. Please do not leave it to the last minute.

A template for referral is set out below:

Referral from Circulated Schedule to Development Management Committee

1. Application reference number:

2. Site Location:

3. Reasons for referral:

The referral should include the reasons for the referral indicating why it would not be appropriate to permit the proposal to be determined under the delegated arrangements; the issues the proposal raises in relation to the relevant policy context and the balanced consideration that has been given to the extra costs and delay of the referral

4. If the site is outside your ward have you contacted the ward Member(s) to inform them of the referral?

5. Have you discussed the referral with the case officer or Development Manager?

a) Referring Member:

b) Details of Supporting Member(s) (cannot be same ward as Referring Member)

c) Details of Supporting Chair or Spokes Member of the Development Management Committee

Do you consider this is an application of strategic importance such that you would request the Director to consider using his discretion to refer the matter to the Strategic Sites Delivery Committee? If so please set out your reasons:

Date:

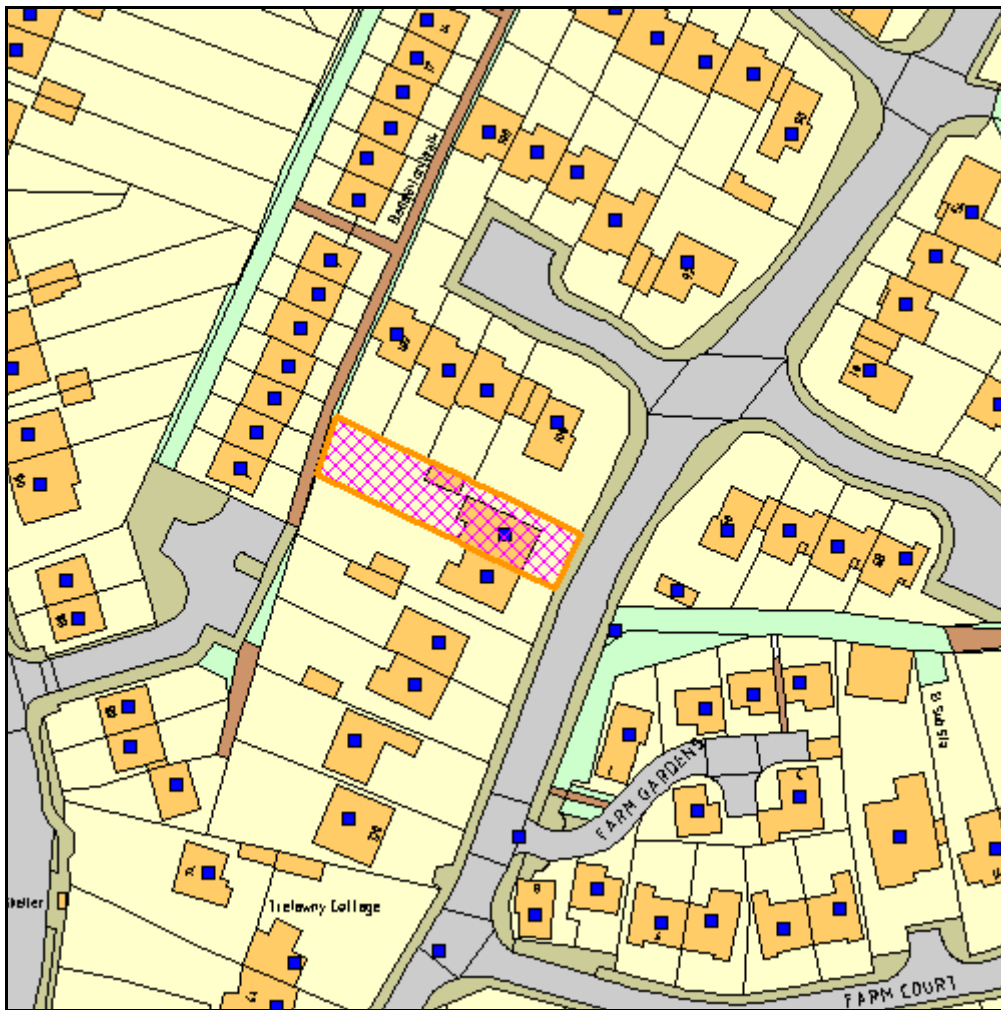
To be emailed to MemberReferral@southglos.gov.uk

CIRCULATED SCHEDULE - 06 September 2019

ITEM NO.	APPLICATION NO	RECOMMENDATION	LOCATION	WARD	PARISH
1	P19/09164/F	Approve with Conditions	110 Sutherland Avenue Downend South Gloucestershire BS16 6QN	Frechay And Downend	Downend And Bromley Heath Parish Council
2	P19/2525/RM	Approve with Conditions	Parcels PL17A, PL17B, PL18A, PL18B And PL21 North Yate New Neighbourhood Yate South Gloucestershire	Yate North	Yate Town Council
3	P19/4166/RM	Approve with Conditions	11 Hortham Lane Almondsbury South Gloucestershire BS32 4JH	Severn Vale	Almondsbury Parish Council
4	P19/4944/O	Approve with Conditions	Parklands Hambrook Lane Stoke Gifford South Gloucestershire BS34 8QU	Stoke Gifford	Stoke Gifford Parish Council
5	P19/7478/RM	Approve	PL14E North Yate New Neighbourhood Yate South Gloucestershire BS37 7YX	Yate North	Yate Town Council

CIRCULATED SCHEDULE NO. 36/19 – 06 SEPTEMBER

App No.:	P19/09164/F	Applicant:	Mr George Vile
Site:	110 Sutherland Avenue Downend Bristol South Gloucestershire BS16 6QN	Date Reg:	22nd July 2019
Proposal:	Erection of single and two storey rear extension to provide additional living accommodation.	Parish:	Downend And Bromley Heath Parish Council
Map Ref:	365286 177169	Ward:	Frenchay And Downend
Application Category:	Householder	Target Date:	13th September 2019



© South Gloucestershire Council 2007.all rights reserved.

This map is reproduced from Ordnance Survey material with the permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office © Crown copyright. Unauthorised reproduction infringes Crown copyright and may lead to prosecution or civil proceedings.

100023410, 2008.

N.T.S.

P19/09164/F

South Gloucestershire Councillors have five working days from date of publication to consider whether items appearing on the Circulated Schedule should be referred to the Development Management or Strategic Sites Delivery Committees for determination.

REASON FOR REFERRING TO CIRCULATED SCHEDULE

This application is referred to the circulated schedule due to an objection received from the Parish Council which is contrary to the Officers recommendation.

1. THE PROPOSAL

- 1.1 The application seeks full planning permission for the erection of a single and two storey rear extension to provide additional living accommodation at 110 Sutherland Avenue, Downend. The application is a resubmission of a previously refused proposal, reference P19/5016/F.
- 1.2 The application site relates to a semi-detached bungalow which is located within the residential area of Downend.
- 1.3 During the course of the application, amendments were sought to reduce the length and height of the extension. Revised plans were received on 29th August 2019.

2. POLICY CONTEXT

2.1 National Guidance

National Planning Policy Framework
National Planning Policy Guidance

2.2 Development Plans

South Gloucestershire Local Plan Core Strategy (Adopted) December 2013

CS1 High Quality Design
CS4a Presumption in Favour of Sustainable Development
CS5 Location of Development
CS8 Improving Accessibility

South Gloucestershire Local Plan Policies, Sites and Places Plan (Adopted) November 2017

PSP1 Local Distinctiveness
PSP8 Residential Amenity
PSP11 Transport Impact Management
PSP16 Parking Standards
PSP38 Development within Existing Residential Curtilages
PSP43 Private Amenity Standards

2.3 Supplementary Planning Guidance

South Gloucestershire Design Checklist (Adopted) 2007
Residential Parking Standards SPD (Adopted) 2013

3. RELEVANT PLANNING HISTORY

- 3.1 P19/5016/F
Demolition of existing conservatory. Erection of two storey and first floor rear extension to provide additional living accommodation.
Refused: 26/06/2019

4. CONSULTATION RESPONSES

- 4.1 Downend and Bromley Heath Parish Council
Objection- overdevelopment.
- 4.2 Sustainable Transport
No objection.

Other Representations

- 4.3 Local Residents
Objection comments received from 1no local resident, summarised as follows;
- Views obstructed and overbearing presence.
 - Building along fence line with cause damage and disruption.

5. ANALYSIS OF PROPOSAL

- 5.1 Principle of Development
Policy PSP38 of the PSP Plan (November 2017) allows the principle of development within residential curtilages, subject to considerations of visual amenity, residential amenity and highway safety. Furthermore, Policy CS1 of the Core Strategy seeks that the siting, form, scale, height, massing, detailing, colour and materials are informed by, respect and enhance the character, distinctiveness and amenity of both the application site and its context. The proposal accords with the principle of development subject to the consideration below.
- 5.2 Design and Visual Amenity
The proposed development consists of a two storey and single storey rear extension to provide an additional bedroom and living area. The proposed extension would consist of a flat roof, single storey element and dual pitched roof, two-storey element; the proposal would span the entire width of the property with the first floor element set away from the boundary with the attached neighbouring property by approximately half the width of the existing dwelling. Given the relatively large rear garden associated with the property, combined with the reduction in size and scale of the proposed extension, it is considered by the Officer to be appropriate development within the context of the site; the amendments to the previously refused application are considered to sufficiently overcome the initial concerns with the design. Furthermore, due to the siting at the rear of the property, the proposal would be mostly screened from the public realm and is therefore not thought to have a significantly adverse impact on the visual amenity of the area.
- 5.3 Residential Amenity

Policies PSP8 and PSP38 of the PSP Plan (November 2017) sets out that development within existing residential curtilages should not prejudice residential amenity through overbearing; loss of light; and loss of privacy of neighbouring occupiers.

5.4 The impact of the proposal on the residential amenity currently enjoyed by the occupiers of neighbouring properties has been considered. By moving the first floor element away from the boundary with the adjoining neighbour, it is considered by the Officer that the previous concerns of overbearing have been successfully mitigated. Given the siting of the proposed windows, it is not thought to result in any material loss of privacy; nor is the proposal considered to substantially impact the existing levels of light afforded to the neighbouring occupiers.

5.5 The proposal will occupy additional floor space, however it is considered that sufficient private amenity space would remain for the occupiers of the host dwelling.

5.6 Sustainable Transport and Parking Provision

The application is increasing the number of bedrooms from two to three; South Gloucestershire Council's residential parking standards require a three bedroom property to provide two off-street parking spaces. The site benefits from a hardstanding to the front of the property which is able to accommodate two vehicles. As such, subject to condition, no objections are raised in terms of transport.

5.7 Equalities

The Equality Act 2010 legally protects people from discrimination in the workplace and in wider society; it sets out the different ways in which it is unlawful to treat someone. As a result of this Act the public sector equality duty came into force. Among other things those subject to the equality duty must have due regard to: eliminate unlawful discrimination, harassment and victimisation; advance equality of opportunity and foster good relations between people who share a protected characteristic and those who do not. The general equality duty therefore requires organisations to consider how they could positively contribute to the advancement of equality and good relations. It requires equality considerations to be reflected into the design of policies and the delivery of services.

With regards to the above this planning application is considered to have a neutral impact on equality.

5.8 Other Matters

Any damage incurred to neighbouring property during construction is deemed a civil matter and is therefore not a material planning consideration. If the applicant requires access or works to be carried out on the neighbouring land then permission must be sought from the owner of the land in question.

6. CONCLUSION

- 6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.
- 6.2 The recommendation to **grant** permission has been taken having regard to the policies and proposals in the development plan set out above, and to all the relevant material considerations set out in the report.

7. RECOMMENDATION

- 7.1 That the application be **APPROVED** subject to the conditions included on the decision notice.

Contact Officer: James Reynolds
Tel. No. 01454 864712

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

To comply with the requirements of Section 91 of the Town & Country Planning Act 1990 (as amended).

2. A minimum of two off street parking spaces shall be retained for the dwelling at all times.

Reason

To ensure the satisfactory provision of parking facilities and in the interest of highway safety and the amenity of the area, and to accord with Policy CS8 of the South Gloucestershire Local Plan; Core Strategy (Adopted) December 2013; and the South Gloucestershire Residential Parking Standards SPD (Adopted) December 2013.

CIRCULATED SCHEDULE NO. 36/19 - 06 SEPTEMBER 2019

App No.: P19/2525/RM

Applicant: Mr MARK
POWELLBDW
TRADING LTD
(DAVID WILSON
HOMES BRISTOL
DIVISION)

Site: Parcels PL17A, PL17B, PL18A, PL18B
And PL21 North Yate New Neighbourhood
Yate South Gloucestershire

Date Reg: 8th March 2019

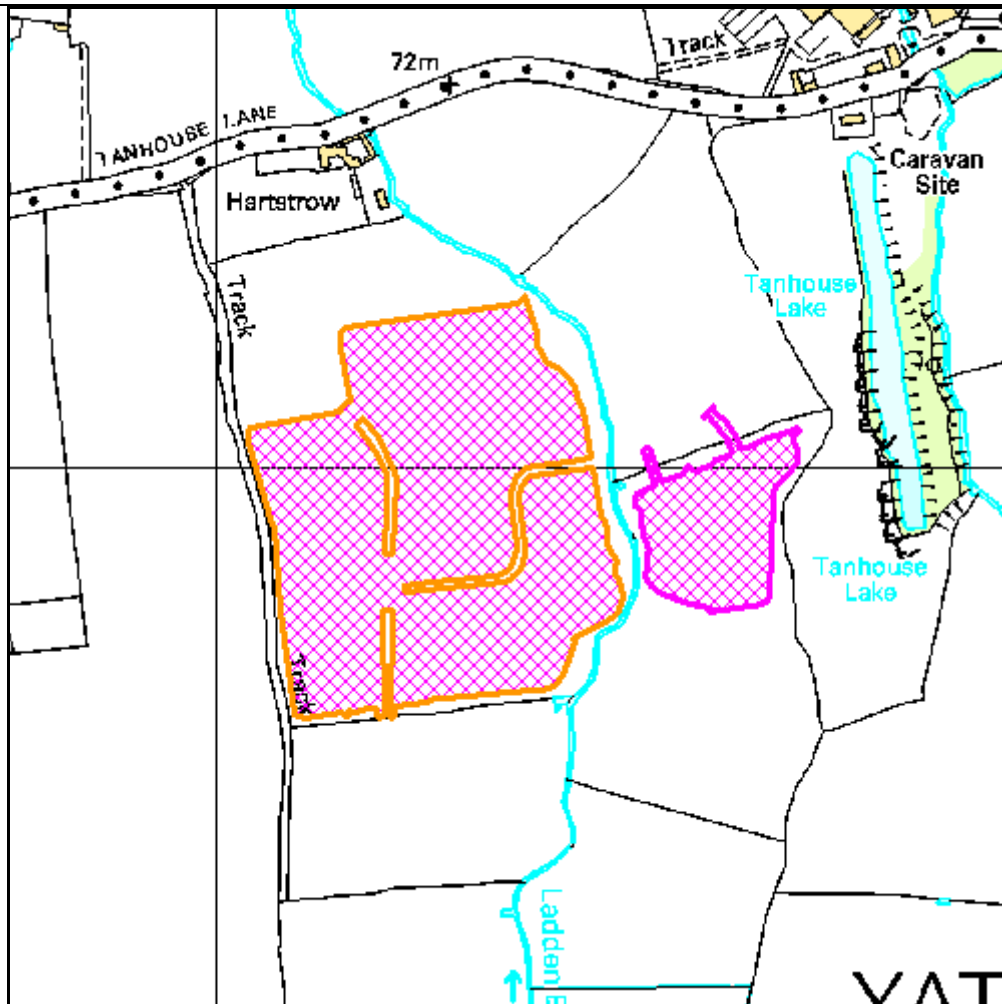
Proposal: Proposed erection of 229 residential
dwellings and their associated roads,
drainage, landscaping, garaging and
parking to include reserved matters of
appearance, layout, scale and
landscaping.

Parish: Yate Town Council

Map Ref: 371580 183745
Application Major

Ward: Yate North
Target
Date: 5th June 2019

Category:



© South Gloucestershire Council 2007.all rights reserved.

This map is reproduced from Ordnance Survey material with the permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office © Crown copyright. Unauthorised reproduction infringes Crown copyright and may lead to prosecution or civil proceedings.

100023410, 2008.

N.T.S.

P19/2525/RM

South Gloucestershire Councillors have five working days from date of publication to consider whether items appearing on the Circulated Schedule should be referred to the Development Management or Strategic Sites Delivery Committees for determination.

INTRODUCTION

This application appears on the circulated schedule because an objection has been received from Yate Town Council, which is contrary to the officer's recommendation.

1. THE PROPOSAL

- 1.1 This application seeks reserved matters consent for the erection of 229 residential dwellings with associated roads, drainage, landscaping, garaging and parking. The reserved matters, which comprise appearance, layout, scale and landscaping should be read in conjunction with outline permission PK12/1913/O superseded by PK17/4826/RVC. This outline consent included details of access into the site off Randolph Avenue and Leechpool Way, with provision for access from Peg Hill. The scheme benefits from an approved design code (North Yate New Neighbourhood Design Code Rev D-March 2017) and masterplan (Condition 39 Detailed Masterplan 4739-LDA-00-XX-DR-L-0013), as well as a number of framework plans approved at outline stage.
- 1.2 The application site comprises parcels PL17A, PL17B, PL18A, PL18B and PL21 in the North Yate New Neighbourhood. These parcels are in the fourth phase of development according to the approved phasing plan. The site is approximately 6.3 hectares and slopes down gradually from south to north. The site falls gradually from west to east to the stream corridor and then rises steeply to the east on the opposite side of the stream corridor. Mature hedgerow and hedgerow trees are located around the edges of the parcels. These hedges mark the former boundaries of field parcels and also follow the stream corridor which crosses through the site. A number of trees are located within the site and following negotiation with the developer, all of these trees are to be retained within public open space areas.
- 1.3 Infrastructure such as the attenuation basins to the southeast and the primary and secondary roads already have consent under the approved infrastructure application: PK18/1656/RM.
- 1.4 The 229 dwellings proposed comprise a mixture of houses and flats of 1, 2, 3, 4 and 5 beds of 2, 2.5 and 3 storeys in height. Out of the 229 dwellings, 80 would be affordable housing. A statement of compliance has been submitted in support of this application.

2. POLICY CONTEXT

- 2.1 National Guidance
National Planning Policy Framework July 2018
National Planning Practice Guidance

- 2.2 Development Plans

South Gloucestershire Local Plan Core Strategy Adopted December 2013
CS1 High Quality Design

CS2 Green Infrastructure
CS4a Presumption in Favour of Sustainable Development
CS5 Location of Development
CS8 Improving Accessibility
CS9 Managing the Environment and Heritage
CS16 Housing Density
CS17 Housing Diversity
CS18 Affordable Housing
CS30 Yate and Chipping Sodbury
CS31 North Yate New Neighbourhood

South Gloucestershire Local Plan: Policies, Sites and Places Plan Adopted November 2017

PSP1 Local Distinctiveness
PSP2 Landscape
PSP3 Trees and Woodland
PSP6 Onsite Renewable and Low Carbon Energy
PSP8 Residential Amenity
PSP10 Active Travel Routes
PSP11 Transport Impact Management
PSP16 Parking Standards
PSP17 Heritage Assets and the Historic Environment
PSP19 Wider Biodiversity
PSP20 Flood Risk, Surface Water and Watercourse Management
PSP21 Environmental Pollution and Impacts
PSP37 Internal Space and Accessibility Standards for Affordable Dwellings
PSP43 Private Amenity Space Standards
PSP47 Site Allocations and Safeguarding

2.3 Supplementary Planning Guidance

The South Gloucestershire Design Checklist SPD (adopted)
The South Gloucestershire Residential Parking Standards SPD (adopted)
Waste Collection: Guidance for New Developers SPD (adopted)
Extra Care and Affordable Housing SPD (adopted)

3. **RELEVANT PLANNING HISTORY**

- 3.1 PK10/042/SCO, Scoping Opinion for a proposed mixed-use site approximately 104ha in North Yate.
- 3.2 PK12/1913/O, Mixed use development across 100.76 hectares of land comprising up to 2,450 new dwellings (Use Class C3), extra care housing (Use Class C2), 4.63 hectares of employment land (Use Class B1,B2) provision of a local centre, two primary schools, together with the supporting infrastructure and facilities including: new vehicular and pedestrian accesses, public open space and landscaping and proposal to underground the electricity powerlines. Outline application including access with all other matters reserved. Approved on 17th July 2015.
- 3.3 PK15/5230/RVC, Variation of condition 41 of Planning Permission PK12/1913/O to change the proposed wording which related to the need for an Energy Statement and energy targets. Approved on 6th May 2016.

- 3.4 PK16/2449/RVC, Variation of condition 12 attached to planning permission PK12/1913/O to allow for a programme for archaeological investigations across the site. Approved on 15th August 2016.
- 3.5 PK17/0039/NMA, Non-material amendment to Condition 19 of PK16/2449/RVC (Outline planning permission for the North Yate New Neighbourhood) to reflect the updated phasing plan submitted pursuant to Condition 4. Approved on 23rd February 2017.
- 3.6 PK17/4826/RVC Variation of conditions 12, 19 and 41 attached to outline planning permission PK12/1913/O to rationalise and validate amendments to conditions previously granted under application reference numbers PK15/5230/RVC, PK16/2449/RVC, and PK17/0039/NMA. Permitted 27th November 2017

4. CONSULTATION RESPONSES

- 4.1 Yate Town Council
Objection
Highway safety issues
Insufficient visitor parking
Proximity of houses to trees
Concern regarding drainage particularly the route that surface water will take on and off the site
Where are the disability adapted by design properties?
- 4.2 Sports England
The proposed development doesn't fall within Sports England's statutory remit so a detailed response was not provided. General standing advice provided instead.
- 4.3 Conservation Officer
No comment
- 4.4 Wales and West Utilities
You must not build over any of our plant or enclose our apparatus.
- 4.5 The Coal Authority
Confirmed that the site does not fall within the defined Development High Risk Area; therefore, there is no need for a Coal Mining Risk Assessment to be submitted or for the Coal Authority to be consulted. Standing advice should be provided on the decision notice.
- 4.6 Highway Structures Officer
If the application includes a structure that will support the highway or support the land above a highway. No construction is to be carried out without first providing the Highway Structures team with documents in accordance with BD2/12 of the Design Manual for Roads and Bridges that will allow formal Technical Approval of the proposals to be carried out. The applicant will be required to pay the fees associated with the review of the submission whether they are accepted or rejected.
Or

If the application includes a boundary wall alongside the public highway or open space land then the responsibility for maintenance for this structure will fall to the property owner.

4.7 Avon Fire and Rescue

Requests that fire hydrants are provided within the scheme, as well as a sum of money to be secured for the installation and maintenance of each fire hydrant.

4.8 Public Art

No comment. Public art for the NNYN is being delivered in line with the public art plan for the site and the first stage is currently being developed.

4.9 Drainage Officer

No objection

4.10 Affordable Housing Officer

The affordable housing distribution must be amended to accord with the clustering requirements of the S106 and the wider objectives of policy CS18.

Dimensions for the wheelchair units are required/or confirmation that they will meet the Councils wheelchair standard. The Affordable Housing Officer's comments, which can be viewed on the Council's public website provide a link to view the Wheelchair Specification.

4.11 Environment Agency

No objection – condition 25 of PK12/1913/O requires that finished floor levels of all uses to be set 300mm above the 1 in 100 year climate change modelled level. The latest modelling from AEGAEA Associates Ltd. 2018 should be used to determine this. Confirmation required how this has been applied as it's not clear from the Contours and Finished Floor Levels plan submitted.

4.12 Public Rights of Way Officer

Public footpath LYA/45 runs to the immediate north east of this site and therefore links should be made to encourage sustainable transport. The roadway shown at the north west of the site cuts through the Tanhouse Lane recreational route and therefore I would like to see detail of how this will be achieved safely.

4.13 Tree Officer

From an Arboricultural perspective the latest layout – 0642-8-102 A – is an enormous improvement on previous versions as all of the important trees are incorporated and, largely, accommodated within the design.

There are parking bays within the RPA of the eastern-most tree which, if they cannot be moved to a position outside the RPA, should be no-dig construction. Similarly a no-dig construction is desirable for the footpath within the RPAs of these mature trees.

4.14 Landscape Officer

Offers the following comments;

- Four mature oak trees lie within the site and the outline masterplan shows these as being retained in the layout

- Proposed layout adequately accommodates the trees and allows them to contribute to the character of the site in views from the main road network
- Levels issues with the adjoining houses have been resolved but the revised layout
- Pavement alignment is still within the RPA and could be moved to road edge to reduce the impact of the construction on the tree
- Car parking within the RPA for plot 21 should be changed to a porous surface and no dig construction method
- 2m levels difference between plots 13 and 18 and the adjoining vegetation that will lead to intrusion into the RPA
- Level change will also intrude into the vegetation close to the corner of plot 18
- Similar intrusions into the RPA from the road edge by plots 38 and 39
- Eastern edge of the development is very important to the long views
- Very important that the houses which overlook the open landscape are designed with this in mind
- The density of plots 1-18 has been reduced and this gives the more coherent layout
- Intention of the low density is to give bigger gardens and more space between the buildings rather than larger units and more car parking.
- Landscape design continues to be compromised by the amount of car parking and garages and there has been limited benefits from the use of detached houses in opening the structure.
- A number of properties have double the parking required to be policy compliant
- This prevents opportunities for tree planting which is needed to respond to its prominent location
- Use of native trees with mixed native hedgerow is required to create visual integration and ecological links
- Tree planting should be included in rear gardens as there is limited space for street trees
- Number of areas where long driveways create a street scene dominated by hard surface
- Substation is shown in the POS and should be moved
- Bin muster point adjoining plot 39 is in a prominent location

4.15 Urban Design Officer

Offers the following comments;

- Creation of green spaces through the site with the retention of mature trees is welcome
- This will improve legibility and quality of the development and each tree will form an anchor around which the new built form can sit
- Quality green space and public realm is key to the creation of positive places
- Parking arrangement adjacent to plot 62 and the apartment block is awkward
- Parking arrangement adjacent to plot 133 is awkward
- Plots 104 and 105 are remote from the others in this area and leaves the gardens of adjacent properties potentially vulnerable
- This also creates a weak visual end point along the access road
- Area behind plots 156 and 157 is exposed and not secured by other built form
- The shape and usability of the gardens is awkward
- Stacked parking for plots 184, 185 and 186 is functionally poor and could result in usability issues for residents
- Ground floor windows should be placed in the side elevations to provide surveillance over the parked cars

- The rear of plot 211 is only 10m from the rear of 213 and this would result in a significant level of overlooking
- The proposed garages aren't large enough to be used for parking
- Other parking should have the same treatment as the visitors spaces to enhance the public realm
- House types are generally interesting, though there are a number of detailed points that will improve the overall quality of the scheme
- Many relate to the quality of the finishing
- Conditions can be used in relation to precise selection of materials and window details and finishes
- Window side panels should not be stuck on the façade of the house and should be set into the structure to finish flush with the surrounding brickwork.
- Details should be provided for all examples of this
- Amendments could be made to the triple section window to reduce the amount of visual space taken up by the frames
- Dormers proposed are quite small and would be more efficient and better value to show a larger structure
- House type on page 24 looks awkward
- Would be cleaner to not break the eaves and eliminate that feature or to make more of this feature.
- Details should be provided for any example where the cladding material turns a corner
- Further clarity should be provided for the lintel and sill details on page 40 and the finish of all the sills.
- Outward facing properties should be treated the same as inward facing properties
- The same approach to the affordable units (both materials and parking provision) should be taken as with the open market units
- Advise against the use of brown roof tiles
- Conditions should be used for the placement and colour of the meter boxes.

Other Representations

4.17 Local Residents

One letter of concern has been received from a member of the public on the basis that no arboricultural report or tree protection measures have been submitted with the application.

5. ANALYSIS OF PROPOSAL

5.1 Principle of development

North Yate New Neighbourhood is a major development site allocated in the Core Strategy, under policy CS31. Outline planning permission has been granted on the site for up to 2450 dwellings, 4.63 hectares of employment land, a local centre, two primary school and associated infrastructure. The principle of the development is therefore acceptable.

5.2 Design, appearance and layout

Core Strategy Policy CS1 seeks to ensure that new development is of the highest possible standard of design and is inter alia of an appropriate scale, form, appearance

and layout that respects and enhances the character, distinctiveness and amenity of both the site and its context. The site forms part of the Yate Meadows character area. This area has the strongest visual and physical relationship to the wider countryside. It is characterised by contiguous green space and contains extensive ponds, swales and recessed flood attenuation areas. The eastern edge of Yate Meadows is characterised by individual buildings at a generally lower scale, which is part of the sensitive design response to the wider countryside setting.

- 5.3 The application proposes the erection of 229 dwellings on a site area of 6.19ha. The outline application was accompanied by a Design Code, which sets out the parameters for the whole of North Yate New Neighbourhood. The application is accompanied by a Statement of Code Compliance, setting out the proposals compliance with the design strategies. There is a condition on the outline permission requiring the reserved matters submission to be in accordance with the principles and parameters of the Design Code.
- 5.4 The number of dwellings proposed has been reduced from 238 on submission to 229 units. The application site is made up of several parcels, which are required to have different densities under the approved parameter plans. The eastern parcel would have a density of 22dph and this is shown on the parameter plans as having a density of between 15 and 25 dph. The northern part of the site would have a density of approx. 40dph with the remainder of the site having a density of approx. 42dph. This is in line with the parameter plans, which show densities of between 25 – 40dph and 35-50dph respectively. The proposed development is a mix of 2, 2.5 and 3 storey dwellings. The parameter plans show a maximum of 2.5 storeys at a height of 10.5m. The proposed 3 storey buildings would have a maximum height of 10.5m and be sited on junctions and terminate key views, which is good urban design.
- 5.5 There are four trees on the site, which are shown as retained within the Design Code. The Design Code shows two of these trees within the rear gardens of proposed dwellings and, due to the nature of the trees, it is likely that they would come under pressure for future removal. These trees are high quality and add value to the wider area. Following discussions with the applicant, it was agreed that all these trees should be within public open space. This would ensure their long term future and improve the public realm for this part of the development. This amendment to the scheme represents an improvement over the submitted scheme and results in a higher quality public realm.
- 5.6 The house types are considered to be broadly in line with the parameters set out in the Design Code. The Urban Designer has raised various issues relating to the requirement for additional details in terms of materials and finishes. Conditions will be imposed on the permission to ensure that the proposed materials are acceptable and in accordance with the neighbouring parcels. The proposed materials are in line with the aspirations of the Design Code.
- 5.7 The Urban Designer has raised further issues regarding the siting of plots 104 and 105 as they would be remote from the other properties in this area, leaving them potentially vulnerable. Whilst this isn't ideal siting for these properties, there would be some level of surveillance from the frontages of plots 102 and 103. There is a similar concern raised regarding the rears of plots 156 and 157. It is considered that there

could be a less awkward arrangement that would result in an improved use of the space, it is not considered that this represents a reason for refusal.

- 5.8 Conditions will be imposed to require the submission of additional detailed design of the architectural features and samples of the materials. It is welcomed that the applicant has amended the layout to retain the proposed trees in sufficient open space to ensure their long term survival and the density of the proposed dwellings has been reduced on the eastern parcel to accord with the parameter plans. Whilst it is unfortunate that the proposal has not been further amended to take account of the Urban Designer's comments on the detailed design, it is considered that the proposal is broadly in accordance with the aspirations of the Design Code and the approved development elsewhere within NYNN.

5.9 Residential amenity

Policies, Sites and Places Plan Policy PSP8 requires that new development should not create unacceptable living conditions or have an unacceptable impact on the residential amenity of occupiers of the development. Policy PSP43 sets out the requirements for private amenity space, including the minimum space standards.

- 5.10 The Urban Designer has made reference to the relationship between plots 211 and 213. Having considered this relationship, it is approx. 11.5m between the front of plot 211 and the rear of plot 213. The properties are set at an angle from one another, so this would lessen the impact and perception of any overlooking. As the properties form part of the same phase of development, there will be an element of caveat emptor for future occupiers and, whilst it is considered that there would be some overlooking between the properties, it is not considered that this would be significant enough to warrant a reason for refusal.

- 5.11 Although the size of the private amenity space for a number of the properties is less than the guide set out under Policy PSP43, there is no objection on this basis given than the proposed density has already been accepted in principle through the approved parameters plans in the outline permission. Due to the size and layout of the private amenity space, it is considered that they would result in sufficient space for future occupiers.

5.12 Landscape and Public Open Space

As previously discussed, the four mature oak trees on the site will be retained in open space, which would result in them making a positive contribution to the site. The trees would be in sufficient space so future pressures for works or their removal would be significantly less and would ensure their long term survival.

- 5.13 On the eastern edge of the parcel, dwellings and a long length of boundary wall were located tight to the edge of a footpath. This would have provided a very hard building edge and would not have provided a pleasant setting to the footpath. The amended plans have pushed the building line back so that larger front and side gardens provide more space between the footpath and built form and will provide a softer edge to the development. The replacement of double garages with single garages and the reduction in the area of hard surfacing will also result in a softer edge to this area.

- 5.14 The Landscape Officer has requested grasscrete for parking spaces that are within public open space close to the trees; the developer has not acceded to this request;

however there is no objection given that the proposal represents a significant improvement compared to the masterplan where two of the trees were shown within private rear gardens rather than public open space. Accordingly, the minor encroachment into the RPZ of tree is accepted provided that a no-dig construction is agreed. Details regarding this will be secured by a condition. The Landscape Officer has also raised concerns regarding the proximity of visitor parking spaces to existing hedgerow, such as those adjacent to plots 111-113. The developer has submitted a section plan based on levels, which demonstrates how the proposal will tie into existing levels via a narrow 0.5m 1:3 strip. It is therefore, considered that the proposal could be built without adversely affecting the adjacent hedge. A condition is attached for either the bin muster points to be moved out of public open space or for a scheme of suitable landscape planting to screen the muster points to be agreed with the Local Planning Authority.

- 5.15 Conditions will be imposed to require the submission of an Arboricultural Method Statement to include the construction of any hard surfacing in the RPZ to protect the trees. It is welcomed that the applicant has amended the layout to retain the proposed trees in sufficient open space to ensure their long term survival and the density of the proposed dwellings has been reduced on the eastern parcel to accord with the parameter plans. Whilst it is unfortunate that the proposal has not been further amended to take account of the Landscape Architect's comments on the detailed design, it is considered that the proposal is broadly in accordance with the aspirations of the Design Code and the approved development elsewhere within NYNN.

5.16 Highway safety

There are sufficient footpaths along the primary and secondary streets, which have been approved as part of the infrastructure application. The tertiary streets are shared surfaces, which is in line with the Design Code. They would be adopted and lit by street lights.

- 5.17 There is considered to be sufficient parking for both future occupiers and visitors across the site. The applicant has submitted the vehicle tracking for the proposal and this is considered to be acceptable. A condition will be imposed requiring the details of the street lighting to be submitted and carried out prior to the occupation of the first dwelling.

5.18 Drainage and flood risk

The information submitted alongside the application complies with the wider Surface Water Drainage Masterplan/Strategy and this indicated no flooding above ground in the 1in30year storms and no flooding of buildings or off-site in 1in100year events with an allowance for climate change. The proposed development would therefore have adequate drainage and would not result in an increase in flood risk. The Environment Agency comments are addressed through the levels condition on the outline permission.

5.19 Public Rights of Way

A public footpath is located to the northeast of the parcel and extends from the fields to the east to Tanhouse Lane. The secondary road that cuts through the public right of way has already been approved. The location and line of this road reflects the approved masterplan, which indicates that the footpath will need to be diverted as built form will block the path. This matter is beyond the scope of this application as the proposal is located clear of the footpath.

5.20 Affordable Housing

The applicant has confirmed the wheelchair flats would fully comply with the wheelchair specifications. The levels and distribution of the affordable housing are considered to be acceptable and in accordance with the affordable housing masterplan.

5.21 Consideration of likely impact on Equalities

The Equality Act 2010 legally protects people from discrimination in the workplace and in wider society. As a result of that Act, the Public Sector Equality Duty came into force. Among other things, the Equality Duty requires public bodies to have due regard to the need to: eliminate discrimination; advance equality of opportunity; and, foster good relations between different groups when carrying out their activities. Under the equality Duty, public organisations must consider how they could positively contribute to the advancement of equality and good relations. This should be reflected in the policies of that organisation and the services it delivers. The Local Planning Authority is statutorily required to apply the Equality Duty to its decision taking. With regards to the Duty, the development contained within this planning application is considered to have a neutral impact as equality matters have duly been considered in planning policy.

6. CONCLUSION

6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.

6.2 The recommendation to approve permission has been taken having regard to the policies and proposals in the development plan set out above, and to all the relevant material considerations set out in the report.

7. RECOMMENDATION

7.1 Reserved matters consent is approved, subject to the following conditions.

Contact Officer: Suzanne D'Arcy
Tel. No. 01454 865065

CONDITIONS

1. Prior to the first occupation of any dwelling in the parcel, details of street lighting shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details prior to the first occupation of any dwelling in the parcel.

Reason

To ensure that the lighting scheme does not adversely impact on the landscaping scheme, and to ensure the health and appearance of vegetation in the interest of the character and appearance of the area and to accord with policies CS1 and CS9 of the South Gloucestershire Local Plan Core Strategy (adopted) December 2013; and policy PSP2 of the South Gloucestershire Local Plan Policies Sites and Places Plan (adopted) November 2017.

2. All hard and soft landscape works shall be carried out in accordance with the details hereby approved. The works shall be carried out in the first planting season prior to occupation of the final dwelling approved under this reserved matters application or in accordance with the programme agreed in writing by the Local Planning Authority.

Reason

In the interests of the character and appearance of the area, and to accord with policy PSP2 of the South Gloucestershire Local Plan Policies Sites and Places Plan (adopted) November 2017; and policy CS1 of the South Gloucestershire Local Plan Core Strategy (adopted) December 2013.

3. Any trees or plants shown on the landscaping scheme hereby approved, which die, are removed, are damaged or become diseased within 5 years of the completion of the approved landscaping scheme shall be replaced by the end of the next planting season. Replacement trees and plants shall be of the same size, location and species as those lost.

Reason

In the interests of the character and appearance of the area, to accord with policy PSP2 of the South Gloucestershire Local Plan Policies Sites and Places Plan (adopted) November 2017 and policy CS1 of the South Gloucestershire Local Plan Core Strategy (adopted) December 2013.

4. Prior to the construction of development above Damp Proof Course (DPC) level, samples of all external facing materials shall be submitted to and agreed in writing by the Local Planning Authority. Development shall be carried out in accordance with the agreed details.

Reason

To ensure an adequate standard of external appearance and to accord with policy CS1 of the South Gloucestershire Core Strategy (adopted) December 2013.

5. Prior to the construction of development above Damp Proof Course (DPC) level, sample panels of stonework, demonstrating the colour, texture and pointing are to be erected on site and approved in writing by the Local Planning Authority . The approved sample panel shall be kept on site for reference until the stonework is complete. Development shall be carried out in accordance with the agreed sample.

Reason

To ensure an adequate standard of external appearance and to accord with policy CS1 of the South Gloucestershire Core Strategy (adopted) December 2013.

6. Prior to the construction of development above Damp Proof Course (DPC) level, sample panels of brickwork, demonstrating the colour, texture, facebond and pointing are to be erected on site and approved in writing by the Local Planning Authority. The approved sample panel shall be kept on site for reference until the brickwork is complete. Development shall be carried out in accordance with the agreed sample.

Reason

To ensure an adequate standard of external appearance and to accord with policy CS1 of the South Gloucestershire Core Strategy (adopted) December 2013.

7. Prior to the construction of development above Damp Proof Course (DPC) level, the design and details including materials and finishes of the following items on all dwellings shall be submitted to and approved in writing by the local planning authority:

1. Eaves, verges and ridges
2. All windows (including cill, reveal and lintels)
3. All external door hoods, architraves, canopies and porches
4. Extracts, vents, flues, pipes, cables & meter boxes
5. Dormers
6. Weatherboard cladding relative to masonry external leaf/window frames

The design details shall be accompanied by elevations and section drawings to a minimum scale of 1:20 together with cross section profiles. The scheme shall be implemented strictly in accordance with the approved details.

Reason

To ensure an adequate standard of external appearance and to accord with policy CS1 of the South Gloucestershire Core Strategy (adopted) December 2013.

8. Prior to the construction of development above Damp Proof Course (DPC) level, a sample panel of the render indicating colours and texture, shall be erected on site and approved in writing by the Local Planning Authority. The approved sample panel shall be kept on site for reference until the development is complete. Development shall be carried out in accordance with the agreed sample.

Reason

To ensure an adequate standard of external appearance and to accord with policy CS1 of the South Gloucestershire Core Strategy (adopted) December 2013.

9. The bin storage shown on the drawings hereby approved shall be provided before the corresponding dwellings are first occupied, and thereafter retained for that purpose.

Reason

In the interest of the amenities of the site and to accord with policy CS1 of the South Gloucestershire Core Strategy (adopted) December 2013.

10. The off-street parking facilities (for all vehicles, including cycles) shown on the plan hereby approved shall be provided for the plot to which it relates before the corresponding building is first occupied, and thereafter retained for that purpose.

Reason

In the interest of the amenities of the site and to accord with policy CS1 of the South Gloucestershire Core Strategy (adopted) December 2013.

11. No development (including any site clearance or demolition works or new tree planting) shall take place within the Root Protection Area (RPA) of any tree at the site until an Arboricultural Method Statement (AMS) has been submitted to and agreed in writing by the Local Planning Authority. The development shall be carried out strictly in accordance with the agreed Arboricultural Method Statement. For the avoidance of doubt the AMS shall include the construction of any hard surface or excavation, to accord with no dig principles/construction, within the Root Protection Area of trees.

Reason

To safeguard the trees on site and to accord with policy CS1 of the South Gloucestershire Core Strategy (adopted) December 2013 and PSP3 of the South Gloucestershire Local Plan Policies Sites and Places Plan (adopted) November 2017

12. All works within the Root Protection Area (RPA) of any tree on the site shall be undertaken under the watching brief of an Arboricultural Clerk of Works.

Reason

To safeguard the trees on site and to accord with policy CS1 of the South Gloucestershire Core Strategy (adopted) December 2013 and PSP3 of the South Gloucestershire Local Plan Policies Sites and Places Plan (adopted) November 2017

13. Notwithstanding the details submitted, the bin muster points serving plots 19-22, 143-147 and 40-42 shall either be moved outside of public open space areas or a scheme of landscape planting to screen the muster areas shall be submitted to and agreed in writing by the Local Planning Authority prior to the construction of the relevant bin muster point. Development shall be carried out in accordance with the agreed details.

Reason

In the interest of the amenities of the site and to accord with policy CS1 of the South Gloucestershire Core Strategy (adopted) December 2013.

14. Notwithstanding the details submitted, fire hydrants in accordance with Avon Fire Brigade requirements shall be provided within the scheme.

Reason

In the interest of the amenities of the site and to accord with policy CS1 of the South Gloucestershire Core Strategy (adopted) December 2013.

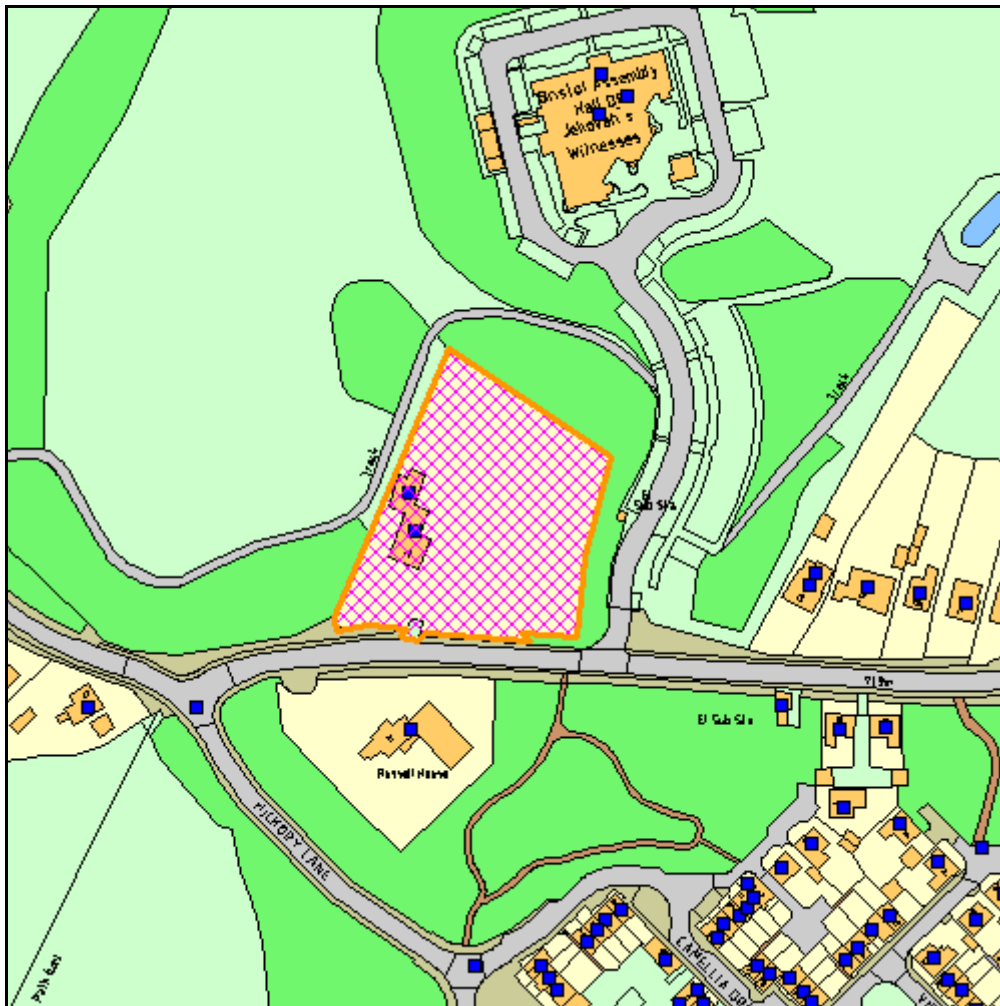
15. Notwithstanding the details submitted, external parking spaces to the side/between flank walls of dwellings shall be a minimum width of 3 metres.

Reason

In the interest of the amenities of the site and to accord with policy CS1 of the South Gloucestershire Core Strategy (adopted) December 2013.

CIRCULATED SCHEDULE NO. 36/19 – 06 SEPTEMBER 2019

App No.:	P19/4166/RM	Applicant:	Mr And Mrs Martin
Site:	11 Hortham Lane Almondsbury Bristol South Gloucestershire BS32 4JH	Date Reg:	18th April 2019
Proposal:	Erection of 1no. detached dwelling (Plot 5) with appearance, landscaping, layout and scale. (approval of reserved matters to be read in conjunction with Outline planning permission (PT16/3579/O).	Parish:	Almondsbury Parish Council
Map Ref:	361732 184562	Ward:	Severn Vale
Application Category:	Minor	Target Date:	10th June 2019



© South Gloucestershire Council 2007.all rights reserved.
This map is reproduced from Ordnance Survey material with the permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office © Crown copyright. Unauthorised reproduction infringes Crown copyright and may lead to prosecution or civil proceedings.
100023410, 2008.

N.T.S.

P19/4166/RM

South Gloucestershire Councillors have five working days from date of publication to consider whether items appearing on the Circulated Schedule should be referred to the Development Management or Strategic Sites Delivery Committees for determination.

REASON FOR APPEARING ON CIRCULATED SCHEDULE

This application appears on the Council's Circulated Schedule procedure following an objection from the Parish Council to the contrary of the officer recommendation detailed below.

1. THE PROPOSAL

- 1.1 This application seeks approval for the reserved matters for one of the 'future phases' at 11 Hortham Lane, Almondsbury. This phase relates to plot 5 of PT18/6355/RVC and PT16/3579/O, which was for the erection of 9 no. self-build dwellings with access to be determined.
- 1.2 The reserved matters to be considered here are appearance, landscaping, layout and scale.
- 1.3 Application P19/7488/RM seeks permission for the appearance, landscaping and layout of the access road and the distribution of services to each plot, and this will form Phase 1 of the development. It is currently pending consideration by the Local Planning Authority. Application reference numbers P19/1831/RM, P19/2136/RM, P19/3471/RM and P19/6749/RM relating to plot 4, plot 2, plot 6 and plot 1 have been granted planning permission.
- 1.4 Application reference numbers P19/4542/RM, P19/5617/RM and P19/11744/RM relate to other 'future phases' of PT18/6399/RVC (plot 9, plot 7 and plot 8 respectively) and are also currently pending consideration. Reserved matters applications for a future phase relating to plots 3 are yet to be submitted for assessment.
- 1.5 The site is situated within the Bristol/Bath Green Belt, and within the open countryside. There are protected trees within plots 7, 8 and 9, however this application relates to plot 5.
- 1.6 The outline application (PT16/3579/O and PT18/6355/RVC) was given planning permission by the Development Management (West) Committee, on the grounds that the scheme would be a pilot self-build scheme for the South Gloucestershire planning department. The subsequent variation of condition application sought to phase each plot in order to facilitate the deliverability of the scheme.

2. POLICY CONTEXT

- 2.1 National Guidance
National Planning Policy Framework Feb 2019
National Planning Practice Guidance
- 2.2 Development Plans

South Gloucestershire Local Plan Core Strategy Adopted December 2013

CS1 High Quality Design
 CS5 Location of Development
 CS8 Improving Accessibility
 CS9 Managing the Environment and Heritage
 CS16 Housing Density
 CS17 Housing Diversity
 CS18 Affordable Housing
 CS34 Rural Areas

South Gloucestershire Local Plan: Policies, Sites and Places Plan Adopted November 2017

PSP1 Local Distinctiveness
 PSP2 Landscape
 PSP3 Trees and Woodland
 PSP7 Development in the Green Belt
 PSP8 Residential Amenity
 PSP11 Development Related Transport Impact Management
 PSP16 Parking Standards
 PSP20 Drainage
 PSP28 Rural Economy
 PSP37 Internal Space Standards for Affordable Housing
 PSP38 Development within Residential Curtilages
 PSP42 Self Build Dwellings
 PSP43 Private Amenity Standards

2.3 Supplementary Planning Guidance

The South Gloucestershire Design Checklist SPD (adopted)
 The South Gloucestershire Development in the Green Belt SPD (adopted)
 Affordable Housing and Extra Care Housing (Adopted) May 2014
 Waste Collection: Guidance for New Developments (Adopted) January 2015

3. RELEVANT PLANNING HISTORY

- | | | | |
|-----|---|-------------------------|------------|
| 3.1 | DOC19/0048 | Condition 7 Discharged | 15/04/2019 |
| | Discharge of Condition 7 (Road layout) attached to planning permission PT16/3579/O | | |
| 3.2 | PT18/6355/RVC | Approve with condition | 11/02/2019 |
| | Variation of condition 10 attached to planning permission PT18/4723/RVC to substitute the plan Phasing Plan 1803-0L-006 Rev A received 6th November 2018 with Phasing plan 1803-L006 Rev C received 17th December 2018. | | |
| 3.3 | DOC18/0401 | Condition 8 Discharged | 10/12/2018 |
| | | Condition 7 Refused | 10/12/2018 |
| | Discharge of Conditions no. 7 (access details) and 8 (bat report) attached to planning permission PT16/3579/O | | |
| 3.4 | PT18/4723/RVC | Approve with conditions | 10/12/2018 |

ITE

Variation of condition 9 attached to planning permission PT16/3579/O to add plan 1803-0L 006 A

- 3.5 PT18/4206/NMA No Objection 04/10/2018
Non Material Amendment to PT16/3579/O to add the plans as a condition.
- 3.6 PT16/3579/O Approved Subject to S106 17/03/2017
Demolition of existing buildings and erection of 9no self-build dwellings (outline) with access to be determined. All other matters reserved.

4. **CONSULTATION RESPONSES**

- 4.1 Almondsbury Parish Council
Objection. The Parish Council have concerns over the lack of drainage and surface water plans provided with this plot. The car parking spaces on this application are not very clear.

4.2 Other Consultees

Transport

No objection.

Lead Local Flood Authority

More information required.

Highway Structures

Informatives recommended.

Children and Young People

No comment received.

Housing Enabling

No comment received.

Landscape

No comment received.

Tree Officer

More information required.

Archaeology Officer

Condition recommended.

Other Representations

- 4.3 Local Residents
No comments received.

5. **ANALYSIS OF PROPOSAL**

5.1 Principle of Development

The principle of residential development at the application site has already been accepted by virtue of the previously approved outline application (PT16/3579/O) and the subsequent variation of condition applications (PT18/6355/RVC and PT18/4723/RVC). The main issues to consider relates to appearance/visual amenity, residential amenity, landscape and transportation. Although the development has been approved in principle, the impact on the openness of the Green Belt should also be considered

5.2 Green Belt

The proposed dwelling is within the height parameters set at outline stage, which was a maximum height of 8.5m. The dwelling is large however some single storey elements help to reduce its bulk and subject to a landscaping scheme being agreed to secure adequate screening and to limit unnecessarily tall boundary treatments (discussed further below) it is not considered that the openness of the Green Belt would be affected more than would have been anticipated at outline stage.

5.3 Design and Visual Amenity

During application reference PT16/3579/O, a Design Code was submitted showing an indicative site plan and the approach to the design that would be taken to ensure that it is consistent across the nine plots. The indicative site plan showed the dwellings arranged in a U shape around the access, suggesting they would be four bedroom dwellings with detached and/or attached garages.

5.4 The Design Code proposed two-storey dwellings with a minimum floor to ceiling height of 2.5m, although variation of up to 3m was suggested to vary the height of the roof lines and all roof lines are to be pitched. A maximum height of 8.5metres was restricted by condition. A common material palette must be used, and this was to be done by providing a final list of approved materials to the self-builders. Roof tiles should be traditional clay or clay-style composite or slate, whilst exterior walls should be finished in brick, smooth render or timber cladding. Doors and windows should be a uniform style and finish to link the properties together, however different colours are welcomed.

5.5 Plot 4 is proposed to be two-storeys with a gable roofline, and a forward facing feature gable which is almost entirely glazed in the centre of the property and above the front door. This approach reflects the design of other plots at the site, particularly plot 4 immediately to the west. The building will have a contemporary appearance with large modern windows finished in aluminium, and two small balconies are proposed; one on the forward facing roof slope of the proposed attached garage and serving the home office, and the other to the rear and accessed from bedroom 1. In terms of external finish, the roof will be finished with fibre cement slate tiles, grey cast stone external walls at ground floor level and a mix of grey and ivory render at first floor level. The windows are proposed to be mid grey UPVC. The Design Code specified that the windows and doors should have a uniform style and finish and therefore a condition on the decision notice will specify that notwithstanding the submitted

- plans, windows and doors must be finished in aluminium composite in order to be consistent with the plots already approved. Overall, the design is considered to be of a high quality and compliant with policy CS1 of the Core Strategy as well as the approved Design Code agreed at outline stage, subject to the aforementioned condition.
- 5.6 Turning to layout, the dwelling is located in a prominent central position at the end of the access road, and is orientated to face straight down the highway. The driveway is restricted in size however adequate space for the required parking is available on the driveway and within the garage. A good sized private garden is proposed to the rear of the site. Refuse storage is not shown, however the garage has adequate access to the road and officers consider that this would be a convenient place to store the bins.
- 5.7 A master landscaping plan was submitted with the application, however this lacked detail and so a pre-commencement condition was agreed with the applicant to ensure existing landscaping to be retained and proposed areas of hard and soft landscaping for each plot will be agreed before any development starts on site. The Tree Officer has requested additional information however as the protected trees are only within plots 7, 8 and 9, and does not affect the plot under consideration here (plot 5) it is not necessary to wait for this information before issuing this decision. Furthermore, the landscaping scheme will include measures of protecting the vegetation within the site which is not subject to a Tree Protection Order, such as the conifer hedge on the northern boundary.
- 5.8 Subject to this, the application is considered to accord with policies PSP2 and PSP3 of the Policies Sites and Places Plan (Adopted) 2017.
- 5.9 Residential Amenity
The northern elevation of the proposed dwelling will face out into undeveloped land under the ownership of Bristol Assembly Hall and will not have an impact on any nearby properties. The dwelling is sited between plot 4 and plot 6 the reserved matters for which have already been given planning permission by the Local Planning Authority, however the only first floor opening facing directly into the adjacent plots is a bathroom on the eastern elevation. This can reasonably be expected to be obscure glazed and a condition will ensure this is the case. The southern elevation will face out towards the proposed road to serve all nine plots, the layout and landscaping of which is currently pending consideration under P19/7488/RM. Due to the orientation of the plot, it is considered that overshadowing would be minimal and would primarily affect the land to the north, under the ownership of Bristol Assembly Hall.
- 5.10 The proposed property would benefit from a large plot in excess of the amenity space standards in policy PSP43, and the majority of the garden would be completely private. The development is considered to accord with policy PSP8 and PSP38 of the Policies Sites and Places Plan.
- 5.11 Drainage
It has been confirmed that the site is not suitable for soakaways, and so the applicants are working with Wessex Water to connect into their system. The

ITE

method of surface water drainage will form part of the required Building Regulations application for this plot.

5.12 Transport

The location of the access was agreed at outline stage, and the layout and landscaping of the proposed access road will be assessed under P19/7488/RM, which is currently pending consideration. Therefore the only issue to be assessed here is the parking and turning space within the site.

- 5.13 Plot 5 is proposed to have a very small driveway which can only accommodate two vehicles, however there is turning space available adjacent to the highway. The property also benefits from a double garage, although it will provide only one additional space due to the need to use it for refuse storage. This totals 3 off street parking spaces, which is required for the dwelling proposed as it is likely that the first floor home office will be used as a fifth bedroom in the future. Subject to a condition requiring the parking provision to be implemented prior to first occupation of the development, there is no transportation objection and the development accords with policy PSP16.

5.14 Archaeology

The Archaeology officer has identified that the site has archaeological potential. This was not picked up at outline stage, nor during the 4 no. reserved matters approvals which have recently been approved for other plots within the site. It would therefore not be reasonable to require this plot owner to carry out archaeological investigations. However an informative on the decision notice will advise the applicant to employ an archaeologist if any archaeology is discovered during construction.

5.15 Consideration of likely impact on Equalities

The Equality Act 2010 legally protects people from discrimination in the workplace and in wider society; it sets out the different ways in which it is unlawful to treat someone. As a result of this Act the public sector equality duty came into force. Among other things those subject to the equality duty must have due regard to: eliminate unlawful discrimination, harassment and victimisation; advance equality of opportunity and foster good relations between people who share a protected characteristic and those who do not. The general equality duty therefore requires organisations to consider how they could positively contribute to the advancement of equality and good relations. It requires equality considerations to be reflected into the design of policies and the delivery of services.

With regards to the above this planning application it is considered to have a neutral impact on equality.

6. CONCLUSION

- 6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.

- 6.2 The recommendation to **grant** permission has been taken having regard to the policies and proposals in the development plan set out above, and to all the relevant material considerations set out in the report.

7. RECOMMENDATION

- 7.1 That planning permission is **GRANTED** subject to the conditions on the decision notice.

Contact Officer: Trudy Gallagher
Tel. No. 01454 864735

CONDITIONS

1. The development hereby permitted must be implemented in accordance with the following plans:
Proposed Floor Plans 03
Proposed Elevations 05
Plot Layout 1803- 5
The Location Plan 1803
List of Materials dated 11th April 2019
Proposed Block Plan 01
All received 14th April 2019

Reason

In the interests of clarity and proper planning.

2. Prior to the commencement of development a scheme of landscaping, which shall include details of all existing trees and hedgerows on the land and details of any to be retained, together with measures for their protection during the course of the development; proposed planting (and times of planting); boundary treatments and areas of hardsurfacing shall be submitted to the Local Planning Authority for approval. Development shall be carried out in accordance with the agreed details.

Reason

In the interests of the visual amenity of the site, the surrounding countryside and the openness of the Green Belt, in accordance with policies PSP2, PSP3 and PSP7 of the Policies Sites and Places Plan (Adopted) Nov 2017, policies CS1, CS5 and CS34 of the Core Strategy (Adopted) Dec 2013, and the National Planning Policy Framework. This information is required prior to commencement in order to prevent remedial work later on.

3. The parking spaces shown on the Proposed Block Plan 01 must be implemented prior to first occupation of the dwelling hereby approved.

Reason

In order to ensure adequate parking provision in accordance with policy PSP11 and PSP16 of the Policies Sites and Places Plan (Adopted) Nov 2017 and the National Planning Policy Framework.

ITE

4. Any glazing serving the first floor window on the eastern elevation serving the bathroom shall at all times be of obscured glass to a level 3 standard or above, and non-opening up to 1.7m above floor level.

Reason

To protect the residential amenity of the adjacent plot, in accordance with policy PSP8 and PSP38 of the Policies Sites and Places Plan (Adopted) 2017 and the National Planning Policy Framework.

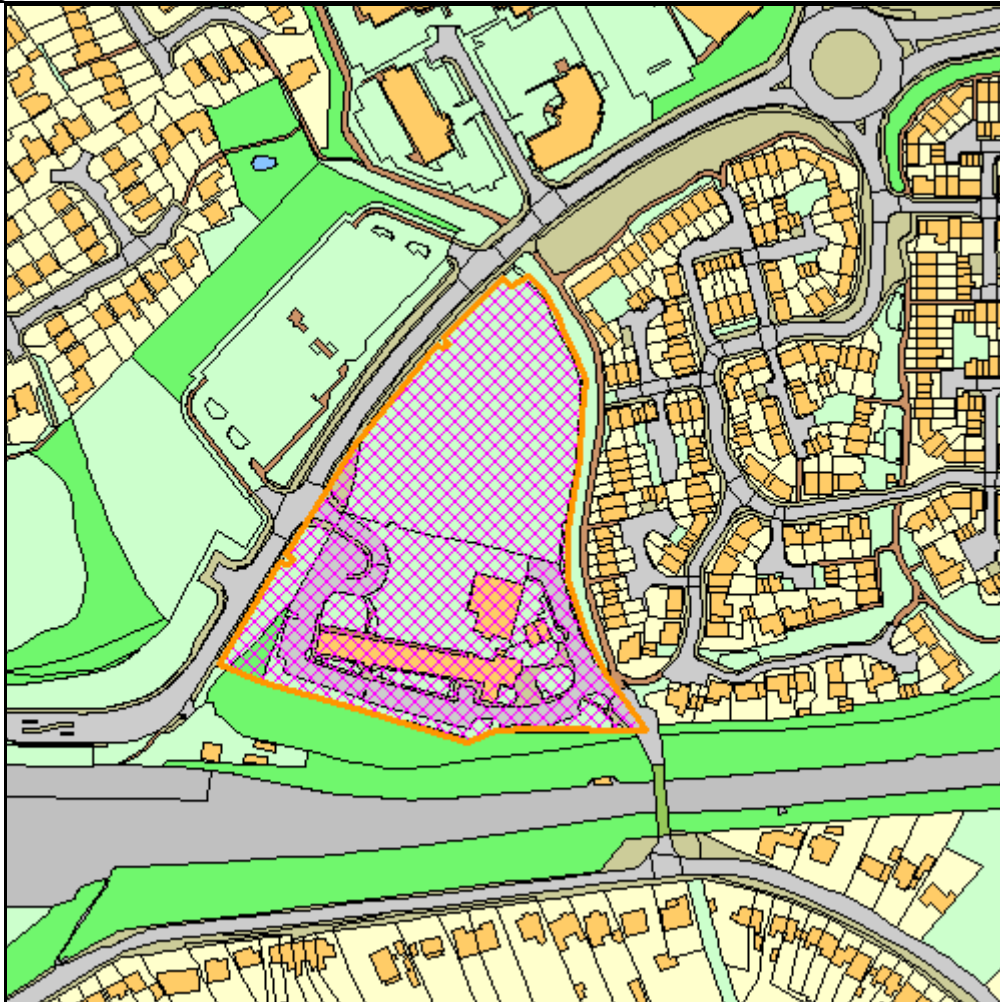
5. Notwithstanding the submitted plans referred to in condition 1, the windows and doors shall be finished in an aluminium composite.

Reason

In order to comply with the Design Code agreed at outline stage and to comply with policy CS1 of the South Glos Core Strategy (Adopted) Dec 2013.

CIRCULATED SCHEDULE NO. 36/19 – 06 SEPTEMBER 2019

App No.:	P19/4944/O	Applicant:	Ashfield Land
Site:	Parklands Hambrook Lane Stoke Gifford Bristol South Gloucestershire BS34 8QU	Date Reg:	9th May 2019
Proposal:	Erection of up to 18,500 square metres office accommodation (Class B1), associated outbuildings, basement, decked car park and access. Outline application with access, layout and scale to be determined. All other matters reserved (resubmission of PT15/5197/O).	Parish:	Stoke Gifford Parish Council
Map Ref:	362990 179696	Ward:	Stoke Gifford
Application Category:	Major	Target Date:	6th August 2019



© South Gloucestershire Council 2007.all rights reserved.
 This map is reproduced from Ordnance Survey material with the permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office © Crown copyright. Unauthorised reproduction infringes Crown copyright and may lead to prosecution or civil proceedings.
 100023410, 2008.

N.T.S.

P19/4944/O

South Gloucestershire Councillors have five working days from date of publication to consider whether items appearing on the Circulated Schedule should be referred to the Development Management or Strategic Sites Delivery Committees for determination.

REASON FOR REPORTING TO THE CIRCULATED SCHEDULE

This application has been referred to the circulated schedule for determination as four comments of objection have been received from local residents.

1. THE PROPOSAL

- 1.1 This application has been submitted to renew a recently expired outline permission. The development itself is – in terms of the matters under consideration – the same as that which has recently expired. However, as the Policies, Sites, and Places Plan has been adopted since the previous permission was given, there is a material change in the planning policy context.
- 1.2 This application seeks outline planning permission for the erection of an office building (and associated works) at a site formally known as 'Parklands' in Stoke Gifford but which has been marketed as 'The Approach'.
- 1.3 The proposed building would provide 18,500 square metres of floor space falling within a B1(a) use, as defined by the Town and Country Planning (Use Classes) Order 1987 (as amended). The application is presented in outline form with access, layout, and scale to be determined leaving appearance and landscaping as reserved matters for consideration at a later date.
- 1.4 Although the site address is given as Hambrook Lane, the site is primarily accessed from Hunts Ground Road. The site has been cleared of all buildings and is now vacant.
- 1.5 In terms of the local area surrounding the site, immediately to the east is an area of relatively high-density housing. This is separated from the application site by a hedge and public right of way. Beyond the housing estate, is the new Stoke Gifford Transport Link to the A4174 Avon Ring Road. To the south of the application site runs the South Wales Mainline railway. At the point the railway is in a cutting with Bristol Parkway Railway Station to the west and an embankment (and bridge) over the M4 to the east. Further south than the railway is Hambrook Lane, on which a number of residential properties are located. However, the nature of Hambrook Lane and a whole swathe of land to the south and east of it will change as the East of Harry Stoke New Neighbourhood comes forward. Finally, to the north of the site there are 2 predominant land uses. By the access to the site from Hunts Ground Road is situated the Parkway North Park and Ride site served by the Metrobus. The second land use to the north of the site is office accommodation in the form of the Great Western Court and Parkway North business parks.
- 1.6 In terms of land use designations and constraints, the site is located within the existing urban area of the north fringe of Bristol. A public right of way runs along the eastern boundary and over the railway via an accommodation bridge. The site has formally been used as a brickworks which means that it may be of

archaeological interest but also that there is the potential for the land to suffer from contamination. The southern end of the site is a safeguarded area for economic development under policy CS12(50).

2. POLICY CONTEXT

2.1 National Guidance

National Planning Policy Framework February 2019
National Planning Practice Guidance

2.2 Development Plans

South Gloucestershire Local Plan Core Strategy Adopted December 2013

CS1	High Quality Design
CS3	Renewable and Low Carbon Energy Generation
CS4A	Presumption in Favour of Sustainable Development
CS5	Location of Development
CS6	Infrastructure and Developer Contributions
CS7	Strategic Transport Infrastructure
CS8	Improving Accessibility
CS9	Managing the Environment and Heritage
CS11	Distribution of Economic Development Land
CS12	Safeguarded Areas for Economic Development
CS25	Communities of the North Fringe of Bristol

South Gloucestershire Local Plan Policies Sites and Places Plan Adopted November 2017

PSP1	Local Distinctiveness
PSP2	Landscape
PSP3	Trees and Woodland
PSP5	Undesignated Open Spaces
PSP6	Onsite Renewable and Low Carbon Energy
PSP8	Residential Amenity
PSP9	Health Impact Assessments
PSP10	Active Travel Routes
PSP11	Transport Impact Management
PSP16	Parking Standards
PSP17	Heritage Assets and the Historic Environment
PSP19	Wider Biodiversity
PSP20	Flood Risk, Surface Water, and Watercourse Management
PSP21	Environmental Pollution and Impacts

2.3 Supplementary Planning Guidance

Design Checklist SPD (Adopted) August 2007
Renewables SPD (Adopted) November 2014
Landscape Character Assessment SPD (Adopted) November 2014
CIL and S106 SPD (Adopted) March 2015
Waste Collection SPD (Adopted) January 2015 (updated March 2017)

3. RELEVANT PLANNING HISTORY

- | | | | |
|-----|--|------------------|------------|
| 3.1 | P19/010/SCR
Screening opinion for the erection of 18,500m2 office accommodation (Class B1) with parking, landscaping and associated works. | EIA not required | 16/04/2019 |
| 3.2 | PT16/6163/PND
Prior notification of the intention to demolish 3no buildings. | Approved | 02/12/2016 |
| 3.3 | PT15/5197/O
Demolition of existing buildings to facilitate erection of up to 18,500 square metres office accommodation (Class B1), associated outbuildings, basement, decked car park and access. Outline application with access, layout and scale to be determined. All other matters reserved. | Approved | 13/06/2016 |

4. **CONSULTATION RESPONSES**

- 4.1 Stoke Gifford Parish Council
No objection

Internal Consultees

- 4.2 Ecology
No objection subject to condition
- 4.3 Environmental Protection
Noise
No objection subject to confirmation of final plant/ noise levels. Construction hours should be controlled

Contamination
Contamination report accepted; no objection subject to conditions.
- 4.4 Landscape
No objection. Query over whether car park to have a green roof planted as wildflowers. Concern over lack of tree planting (strong and robust landscape buffer required around site of native trees and shrubs; shade trees spaced every 3no. car parking spaces)
- 4.5 Lead Local Flood Authority
No objection subject to SUDS condition
- 4.6 Petroleum Officer
Underground petroleum storage may have existed on this site
- 4.7 Sustainable Transport
No objection subject to revised travel plan and conditions

Statutory / External Consultees

- 4.8 Highways England
No objection subject to conditions

4.9 Network Rail

No objection; request details of basement to ensure stability of railway embankment by condition

Other Representations

4.10 Local Residents

4 comments of objection have been received which raise the following points –

- Park and Ride site is not mentioned; it has no barriers and could be used during construction. Barriers needed on car park.
- Height of building: 4 storeys is too tall
- Impact of building on residential amenities including light
- Too many parking spaces
- Insufficient parking spaces
- Metrobus stop should become operational
- Design does not reflect locality

5. ANALYSIS OF PROPOSAL

- 5.1 This application seeks outline planning permission for the erection of an 18,500 square metre office building (Class B1) in Stoke Gifford. In effect this application seeks to renew a previous planning permission.

Principle of Development

- 5.2 The application site is located within the existing urban area of the north fringe of Bristol. Under policy CS5, development within the district is directed towards the existing urban areas and defined settlements. Although not allocated specifically for new employment uses, part of the site is a safeguarded employment area and the continued use of the site for employment would accord with policy. As the proposal would result in additional employment provision, there would be a windfall gain to employment provision across the district.
- 5.3 Policy PSP31 applies a sequential approach to main town centre and retail uses. Such uses in the first instance are directed to a town centre location. The site is not a designated town centre but part of it is a safeguarded employment site. In terms of the criteria of part 6 of PSP31, given the previous planning permission the location is acceptable and the proposal is in a location served well by sustainable transport methods. Policy PSP31 would also seek an impact assessment as the floor area is over 10,000 square metres. An economic benefits statement has been provided. It states, in summary, that the development would result during the construction phases in: 298 temporary construction jobs; support 549 supply chain jobs; result in a £48.6m GVA impact. Furthermore, the operational benefits once constructed include: up to 1077 net jobs increase, £34.7m in potential local earnings, and an increase in floorspace for economic activity within the district.

- 5.4 While the site is an out of town location, the proximity of Bristol Parkway gives in town centre connections. It is therefore an appropriate site to locate a development of this nature and accords in general with the spatial strategy.
- 5.5 In addition to the above, the proposed development is acceptable in principle as planning permission has previously been granted.

Transportation

- 5.6 With development of this scale, one of the most significant aspects is transportation. Given its location, the site is highly sustainable. The site is in walking distance of Bristol Parkway station, which provides mainline national and regional rail services. At the station there is also a bus interchange providing links to a number of destinations both within the north fringe and across the city and its hinterland. The site also has good access to the motorway and regional road system via the Ring Road and the M32. Furthermore, Metrobus will serve the site with a Metrobus stop positioned directly outside the site when the CPNN Metrobus extension becomes operational. A good network of pedestrian and cycle routes also serve the application site. Whilst the site is not a 'town centre' location, the availability of public and sustainable transport routes available are similar to that which would be found in a town centre; this is indicative of the sustainable nature of the location.
- 5.7 The impact of the proposal on the local highway network was thoroughly considered in 2015. The site is ideally located to benefit for sustainable choices with cycle and pedestrian routes to the north, a Metrobus stop, and the wider rail and bus public transport interchange at Parkway Station within walking distance of the site. To the east of the site is Pearson Brick Yard railway bridge which acts as a secondary vehicular access to the site. This bridge provides pedestrian and cycle access routes between Stoke Gifford and the East of Harry Stoke New Neighbourhood. However, the bridge is narrow with high parapets which limit visibility. There is no segregation between users over the bridge. It is likely that this route would become significantly busier as the East of Harry Stoke development advances as it is an attractive route to the railway station and Metrobus. It has been agreed that the use Pearson Brick Yard railway bridge by vehicles accessing the site will in future be limited only to vehicle traffic when the primary access on Hunts Ground Road is blocked or by emergency vehicles. This would further improve the attractiveness of the railway bridge as a route for pedestrians and cyclists by limiting the potential for vehicle movements and conflicts between users. This would be secured through the travel plan.
- 5.8 Although Hunts Ground Road leads through the station, the route beyond the application site is on private land and is enforced by cameras to avoid vehicles using the route through the station as a rat-run; as such in the vicinity of the site Hunts Ground Road is lightly trafficked for much of the day. The Metrobus stop outside the development site was redesigned as part of the 2015 permission.
- 5.9 The council no longer has a parking standard for non-residential uses. However, it is clear that, given the sustainable location of the site, there is a

desire and expectation to promote sustainable transport. A travel plan should therefore be provided and managed through suitable conditions.

- 5.10 Given the highly sustainable location, and the requirement for a travel plan, officers are confident that the impact of the development on the local highway network can be managed. A Construction Traffic Management Plan (CTMP) (to control vehicle routing, hours of operation, delivery hours, access management and construction phasing) to ensure that the impact of construction is both managed and controlled is also required. This would be secured by a planning condition.
- 5.11 Given the change in access arrangements serving the site, the existing access will be closed when the new access is formed. As part of the access works the applicant will be required to 'stop-up' part of the verge maintained by the highway authority along the site frontage under section 247 of the Town and Country Planning Act. This will also need to be secured through an appropriate condition.
- 5.12 A public right of way runs alongside the site. The development is not considered to have a significant impact on the amenity of the right of way. The travel plan will seek to minimise the amount of vehicular traffic that uses the Pearson Brick Yard railway bridge and the hedgerow would be maintained. A scheme of signage to protect users of the right of way would be sought by condition.
- 5.13 Overall, the transportation impacts are acceptable subject to the conditions discussed above.

Layout and Scale

- 5.14 Outline planning permission is sought with access, layout and scale to be determined; access has been discussed above. Since the 2015 application was determined, the office block on the site has been demolished. The site is now open land. Within the wider area of the site, there are existing large scale office buildings such as the MOD Abbeywood and the Sun Life building (currently occupied by Aviva).
- 5.15 The total floorspace provided is made up of 2 basement levels and five storeys above ground. The gross internal area of the building (excluding parking areas contained in the basements) would amount to 18,452 square metres. With regard to the maximum height of the building, the design and access statement specifies a floor to floor height of 5.5 metres plus a 3.5 metre open plant enclosure. This gives a maximum height to the building of 31 metres. In reality, the plans submitted only show part of the building to be five storeys in height (that along Hunts Ground Road) with the rest of the building being four storeys in height.
- 5.16 In order to secure the scale of the building, a condition will be attached that sets the scale parameters of the subsequent reserved matters. To achieve this, the reserved matters shall not provide a building which exceeds 18,500 square metres of floorspace (excluding internal underground parking areas) or

has an overall height in excess of 35 metres. A building of this scale is considered acceptable and would not have a harmful impact on the character or visual amenity of the area. It is also considered that a building of the scale identified would provide a suitable density for development on this site.

- 5.17 The layout is considered to make the most appropriate use of the site and is therefore acceptable. The reserved matters should be consistent with the layout shown at outline stage and therefore, this will be controlled by condition.

Residential Amenity

- 5.18 The impact of the development on residential amenity is no greater than the previously approved scheme. Under the 2015 application, no concern was raised with regard to amenity. The proposed building is set sufficiently distant from the nearby residential properties to avoid any prejudicial harm to residential amenity from overshadowing and overlooking. The perceived impact is likely to be far greater than any actual impact due to the change to the current open nature of the site.
- 5.19 A noise report has been submitted which satisfactorily demonstrates that there would be no undue noise disturbance to occupiers of nearby dwellings. To protect residential amenity during any building works, a condition should be attached that controls the operation hours of any such works.

Natural Environment

- 5.20 This includes consideration on landscape and trees, ecology, drainage, and environmental effects

Landscape

- 5.21 To assist in determining the application, an arboricultural impact assessment, a visual impact assessment, and indicative landscape and planting plans. Landscape is a reserved matter and there only the principle rather than the detail can be considered at this time. It is important to bear in mind that the immediate landscape around the site will change and become more urbanised as the East of Harry Stoke New Neighbourhood progresses.
- 5.22 The final planting will be the subject of a reserved matters application but the indicative approach submitted with the outline application shows an innovative design and interesting features which also incorporate ecological gains and increased vegetation across the site. Policy CS25(14) states that development should promote high quality landscaping that assists in developing neighbourhood distinctiveness and increases the number of street trees, particularly along main highways. Tree planting should come forward as part of the development proposal although this will be assessed at a later date.
- 5.23 At outline stage, it is therefore concluded that the proposal would not have a significant adverse impact on the landscape. It is therefore acceptable.

Ecology

- 5.24 The site is comprised of open previously developed land. The site is not covered by an ecological designation and there are no ecological designations within 1km of the site. The application is accompanied by an ecological appraisal. The appraisal is satisfactory. However, the last permission included a condition that requires an ecological mitigation and enhancement plan to include method statement and a 5 year maintenance programme; this should be carried over to any consent now to be granted. It is considered that this would be closely linked to landscape matters, which are reserved for consideration at a later date. Therefore, a condition will be included which requires the reserved matters application to provide the required information.

Environmental Effects

- 5.25 The main considerations are: contamination, noise, energy efficiency, and air quality.

Contamination

- 5.26 The site and adjacent land has had historic potentially contaminative land uses including as Stoke Gifford Brickworks and associated clay pits which have subsequently been in-filled. Based on the historic land uses the site has been the subject of an inspection by the council's Environmental Protection Team under Part 2A of the Environmental Protection Act 1990.
- 5.27 A number of reports have been submitted to consider the impact of land contamination including a preliminary risk assessment. This identifies potential pollutant linkages from contamination sources in filled ground and recommends further site investigations to confirm the extent and nature of the contamination. Potential remedial measures are outlined for the contamination that might be expected to require mitigation. In order to ensure that the site is suitable for its proposed use a number of conditions should be carried forward.

Noise

- 5.28 A noise report has been submitted. The report has suggested combined operational noise emission limits for all plant used so it does not exceed the pre-existing background noise level. This is accepted in principle. Environmental health officers have requested that the final noise level is confirmed once plant is selected. Given the suburban context of the site the likelihood of there being a statutory noise nuisance is low and the condition is not recommended to be applied.
- 5.29 A condition should be applied to control the hours of construction work in the interest of protection local residents from noise.

Air Quality

- 5.30 An air quality assessment has been submitted. No comment has been received specifically related to air quality from the environmental health team. Air quality was thoroughly assessed under the 2015 application and officers see no reason that a different conclusion should be reached now. Therefore the development is acceptable in this regard.

Energy

- 5.31 An energy statement has been submitted and this has been reviewed by the climate change team. The aspiration to achieve BREEAM 'excellent' status is welcomed. South Gloucestershire Council has recently signed a pledge to go zero carbon and PSP6 seeks to minimise end-user energy requirements.
- 5.32 The applicant has indicated that the proposal would achieve a 5% reduction in carbon emissions through passive design, energy efficiency, and on-site renewables. It is regrettable that measures such as air source heat pumps for heating (both water and space) is not being proposed as this is shown to lead to an additional 7.3% reduction in carbon emissions. Nonetheless, the proposal has submitted evidence as to how it meets the challenge of PSP6 and responds to climate change and is acceptable. It is hoped that over time other similar developments will more readily engage in carbon reductions but it is accepted that much of this falls within the remit of the Building Regulations.
- 5.33 To ensure that the energy efficiency measures set out are implemented, a condition for monitoring should be imposed.

Drainage

- 5.34 The site is not located in an area at risk of flooding. Drainage on the site could be sufficiently managed through the use of sustainable urban drainage systems. Therefore, a SUDS condition would be attached to any consent granted.

Public Art

- 5.35 This application seeks consent for a major office development in a visible position. As such, under policy CS1(7) a scheme of public art is expected. A condition will be attached that requires a scheme of public art to be submitted for agreement.

Impact on Equalities

- 5.36 The Equality Act 2010 legally protects people from discrimination in the workplace and in wider society; it sets out the different ways in which it is unlawful to treat someone. As a result of this Act the public sector equality duty came into force. Among other things those subject to the equality duty must have due regard to: eliminate unlawful discrimination, harassment and victimisation; advance equality of opportunity and foster good relations between people who share a protected characteristic and those who do not. The general equality duty therefore requires organisations to consider how they could positively contribute to the advancement of equality and good relations. It requires equality considerations to be reflected into the design of policies and the delivery of services.
- 5.37 With regards to the above this planning application is considered to have a neutral impact on equality.

Other Matters

- 5.38 A number of matters raised from the consultation responses have not been addressed in the main body of this report. These will be considered below.
- 5.39 The park and ride site is not in the control of or managed by the applicant. Nevertheless, the CTMP would control matters such as construction traffic and contractor parking.
- 5.40 The appearance of the building is a reserved matter and the Metrobus stops are planned to become operational when the Cribbs/Patchway extension route commences.

Planning Balance

- 5.41 The proposal would result in an extensive economic boost through local job creation and additional spending in the economy. The economic benefits are sizable and would have wider consequences across the district. This weighs very heavily in favour of the grant of planning permission.
- 5.42 While there are some minor areas of concern, these can be satisfactorily considered, managed, and mitigated through either the reserved matters applications or the recommended conditions. In light of this, there is no significant harms which would weigh against granting planning permission.
- 5.43 The planning balance falls therefore is strongly in favour for granting permission as the development is concluded to be of a benefit to the local area economically, socially, and will bring some environmental improvements.

6. CONCLUSION

- 6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.
- 6.2 The recommendation to grant permission has been taken having regard to the policies and proposals in the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the South Gloucestershire Local Plan: Policies, Sites and Places Plan (Adopted) November 2017 set out above, and to all the relevant material considerations set out in the report.

7. RECOMMENDATION

- 7.1 It is recommended that planning permission is GRANTED subject to the conditions listed below.

Contact Officer: Griff Bunce
Tel. No. 01454 863438

CONDITIONS

1. Approval of the details of the appearance of the building(s) and the landscaping of the site (hereinafter called "the reserved matters") shall be obtained from the Local Planning Authority in writing before any development is commenced.

Reason

This is an outline permission only and the reserved matters shall be made to the Local Planning Authority.

2. Plans and particulars of the reserved matters referred to in the condition above, relating to the layout, scale and appearance of any buildings to be erected, the means of access to the site and the landscaping of the site, shall be submitted in writing to the Local Planning Authority and shall be carried out as approved.

Reason

This is an outline permission only and the reserved matters shall be made to the Local Planning Authority.

3. Application for approval of the reserved matters shall be made to the Local Planning Authority before the expiration of three years from the date of this permission.

Reason

This is an outline permission only and the reserved matters shall be made to the Local Planning Authority.

4. The development hereby permitted shall be begun either before the expiration of three years from the date of this permission, or before the expiration of two years from the date of approval of the last of the reserved matters to be approved, whichever is the later.

Reason

This is an outline permission only and the reserved matters shall be made to the Local Planning Authority.

5. Prior to commencement of development a Construction Traffic Management Plan ("CTMP") shall be submitted to and approved by the local planning authority in writing. The plan shall include details of:

- * External construction Vehicle Routeing
- * Hours of operation
- * Delivery hours
- * Access management
- * Construction phasing

The details agreed under this condition shall be implemented in full.

Reason

In the interests of highway safety, and to accord with Policy CS8 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework.

6. Prior to commencement of development, details of the site access arrangements and footway improvements shall be submitted to and approved in writing by the local planning authority in accordance with the details shown in principle on drawing 1206-50 figure 6.1 rev A. The site access and footway improvements shall be completed in full in accordance with the approved details prior to the first occupation of the development.

Reason

In the interests of improving pedestrian permeability and safety in accordance with policy CS6, CS7 and CS8 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013 and the provisions of the National Planning Policy Framework. This is required prior to the commencement of development to avoid remedial works.

7. Prior to the first occupation of the development, details of the proposed stopping up of the existing site access on Hunts Ground Road shall be submitted to and approved in writing by the local planning authority. The proposed stopping up shall be carried out in accordance with the approved details prior to first occupation of the development.

Reason

In the interests of improving pedestrian permeability and safety in accordance with policy CS6, CS7 and CS8 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013 and the provisions of the National Planning Policy Framework.

8. Prior to first occupation of the development hereby approved, a full travel plan shall be submitted to and approved in writing by the local planning authority. The full travel plan will include a strategy to make the most effective use of the parking spaces permitted in order to promote sustainable travel. The full travel plan shall include a monitoring and review process for a period of 5 years and shall be reviewed when the occupant of the building changes. The strategy shall also include means by which to encourage the use of low and zero carbon vehicles in the interests of reducing pollution caused by trips to and from the site. The agreed travel plan will be implemented in full.

Reason

To minimise the use of the private car and promote the use of sustainable modes of transport, to ensure that there will be no unacceptable detrimental impact on the operation and safety of the local highway or strategic road network and in the interests of limiting pollution to accord with policy CS1 and CS8 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013, policy PSP11 of the South Gloucestershire Local Plan Policies Sites and Places Plan and the provisions of the National Planning Policy Framework.

9. The access off Hambrook Lane shall only be used by vehicles associated with the development in the event of closure of Hunts Ground Road or if the Hunts Ground Road access is blocked, with the only exception being Emergency Vehicles.

Reason

To minimise the impact of the development on Hambrook Lane, to increase the attractiveness of the route for pedestrians and cyclists, and to improve cycle and

pedestrian safety, in the interests of improving pedestrian permeability of the locality and to accord with policy CS8 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013, and the provisions of the National Planning Policy Framework.

10. Previous historic uses of the site may have given rise to contamination. Prior to commencement of development, an investigation (commensurate with the nature and scale of the proposed development) shall be carried out by a suitably qualified person into the previous uses and contaminants likely to affect the development. A report on the investigation shall be submitted to and approved in writing by the local planning authority. For the avoidance of doubt, an appropriate investigation is likely to include the following:
- i) A comprehensive desk study to identify all potential sources of contamination both arising on-site and migrating onto site from relevant adjacent sources;
 - ii) A comprehensive ground investigation including sampling, to quantify the extent and nature of contamination;
 - iii) An appropriate risk assessment to determine the scale and nature of the risks to human health, groundwater, ecosystems and buildings arising from the contamination (this will normally be presented in the form of a conceptual model);
 - iv) A report detailing the remediation options including the final proposals for mitigating any identified risks to the proposed development; and,
 - v) All works should be carried out with reference to the most relevant, appropriate and up to date guidance.

Reason

To address, in the interests of human health and water pollution, potential land contamination and to accord with policy CS9 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013, policy PSP21 of the South Gloucestershire Local Plan: Policies, Sites and Places Plan (Adopted) November 2017, and the provisions of the National Planning Policy Framework. This is required prior to commencement in the interests of pollution control.

11. Where potential contaminants are identified, prior to the commencement of development, an investigation shall be carried out by a suitably qualified person to ascertain the extent, nature and risks the contamination may pose to the development in terms of human health, ground water and plant growth. A report on the investigation shall be submitted to and approved in writing by the local planning authority setting out the findings (presented in terms of a conceptual model) and identify what mitigation measures are proposed to address unacceptable risks. Thereafter the development shall proceed in accordance with any agreed mitigation measures.

Reason

To address, in the interests of human health and water pollution, potential land contamination and to accord with policy CS9 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013, policy PSP21 of the South Gloucestershire Local Plan: Policies, Sites and Places Plan (Adopted) November 2017, and the provisions of the National Planning Policy Framework. This is required prior to commencement in the interests of pollution control.

12. Prior to the first occupation of the development hereby approved, where works have been required to mitigate contaminants (under conditions 10 and 11), a report verifying that all necessary works have been completed satisfactorily shall be submitted to and agreed in writing by the Local Planning Authority.

Reason

To address, in the interests of human health and water pollution, potential land contamination and to accord with policy CS9 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013, policy PSP21 of the South Gloucestershire Local Plan: Policies, Sites and Places Plan (Adopted) November 2017, and the provisions of the National Planning Policy Framework.

13. If unexpected contamination is found after the development is begun, development shall immediately cease upon the part of the site affected. The local planning authority must be informed immediately in writing. A further investigation and risk assessment should be undertaken and where necessary an additional remediation scheme prepared. The findings and report should be submitted to and agreed in writing to the local planning authority prior to works recommencing. Thereafter the works shall be implemented in accordance with any further mitigation measures so agreed.

Reason

To address, in the interests of human health and water pollution, potential land contamination and to accord with policy CS9 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013, policy PSP21 of the South Gloucestershire Local Plan: Policies, Sites and Places Plan (Adopted) November 2017, and the provisions of the National Planning Policy Framework.

14. Prior to the commencement of development drainage detail proposals incorporating Sustainable Drainage Systems SUDS and confirmation of hydrological conditions e.g. soil permeability, watercourses, mining culverts) within the development shall be submitted for approval in writing to the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason

To ensure that a satisfactory means of drainage is provided, and to accord with policy CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework. This is required prior to commencement to ensure satisfactory drainage can be achieved.

15. Prior to the commencement of development, a construction environmental management plan (to include a dust management plan) shall be submitted to and approved in writing by the local planning authority. The development shall be carried out in accordance with the approved details.

Reason

In the interests of minimising the environmental impacts of the development to accord with policy CS9 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013 and the provisions of the National Planning Policy Framework. This is required prior to commencement to ensure the development does not have an undue impact on air quality.

16. As part of the reserved matters required by condition 1, an ecological mitigation and enhancement plan shall be submitted to the local planning authority for consideration. For the avoidance of doubt, this plan should include a method statement for the avoidance of harm to reptiles and a 5-year management plan for the new and retained habitat.

Reason

In the interests of minimising the impact of the development on protected species and to accord with policy CS9 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013 and the provisions of the National Planning Policy Framework.

17. The development hereby approved shall be carried out incorporating the energy efficiency, saving, and generation means set out in the Sustainability Energy Strategy, prepared by Hoare Lea dated April 2019.

Reason

In the interests of carbon emission reductions and to comply with policy PSP6 of the South Gloucestershire Local Plan: Policies, Sites and Places Plan (Adopted) November 2017, the South Gloucestershire Climate Change Strategy (Adopted) 2018, and the provisions of the National Planning Policy Framework.

18. The development hereby approved shall be carried out in accordance with the tree protection measures as set out in paragraphs 3.3 and 3.4 and drawing 151126-1.2-HGR-TPP-NC of the Arboricultural Impact Assessment prepared by Treework Environmental Practice dated December 2015.

Reason

In the interests of the long-term protection of the trees and the amenity of the area and to accord with policy CS1 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013, policy PSP£ of the South Gloucestershire Local Plan: Policies, Sites and Places Plan (Adopted) November 2017, and the provisions of the National Planning Policy Framework.

19. Prior to the first occupation of the development hereby approved, a scheme of public art (developed in accordance with the Public Art Advice Note) shall be submitted to and approved in writing by the local planning authority. The public art shall be installed in accordance with the timescales set out within the scheme.

Reason

In the interests of the visual amenity of the locality and to accord with policy CS1 and CS25 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013 and the provisions of the National Planning Policy Framework.

20. The reserved matters as required by condition 1 shall not include the provision of more than 18,500 square metres of gross internal floorspace (excluding any floorspace used for parking provision) or exceed 35 metres in height.

Reason

This is an outline permission only and the reserved matters shall be made to the Local Planning Authority, and in the interests of high quality design and the visual amenity of

the locality to accord with policy CS1 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013 and the provisions of the National Planning Policy Framework.

21. The reserved matters as required by condition 1 shall be in general conformity with the design principles set out in the Design and Access Statement dated April 2019 hereby approved.

Reason

This is an outline permission only and the reserved matters shall be made to the Local Planning Authority, and in the interests of high quality design and the visual amenity of the locality to accord with policy CS1 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013 and the provisions of the National Planning Policy Framework.

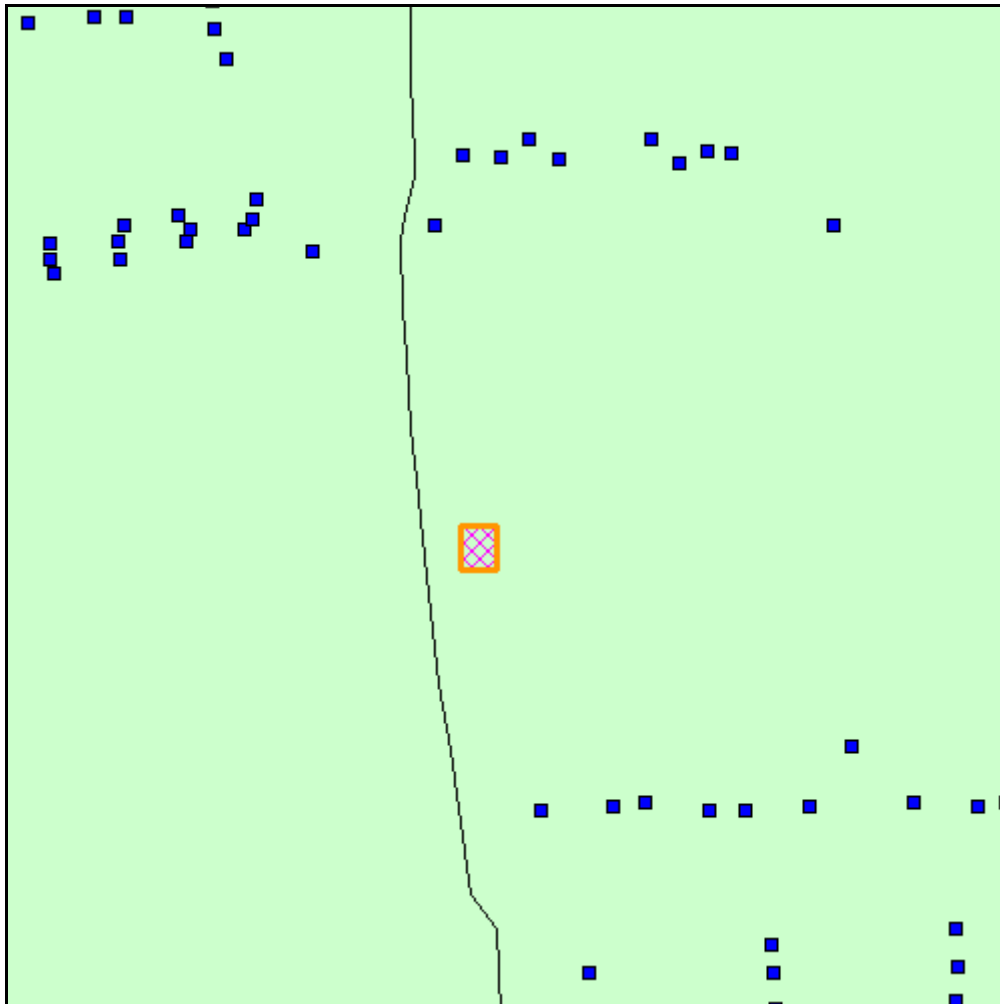
22. The hours of working on site during the period of construction shall be restricted to 07:30 to 18:00 Monday to Friday, 08:00 to 13:00 on Saturdays and no working shall take place on Sundays or Public Holidays. The term 'working' shall, for the purpose of clarification of this condition include: the use of any plant or machinery (mechanical or other), the carrying out of any maintenance/cleaning work on any plant or machinery deliveries to the site and the movement of vehicles within the curtilage of site.

Reason

To protect the residential amenity of the neighbouring occupiers during construction and to accord with the National Planning Policy Framework.

CIRCULATED SCHEDULE NO. 36/19 – 06 SEPTEMBER 2019

App No.:	P19/7478/RM	Applicant:	Mr Sam PooleBDW TRADING LTD (BARRATT BRISTOL DIVISION)
Site:	PL14E North Yate New Neighbourhood Yate South Gloucestershire BS37 7YX	Date Reg:	8th July 2019
Proposal:	Erection of electric substation to include details of layout, scale, appearance of building and landscaping (Approval of Reserved Matters to be read in conjunction with Planning Permission PK17/4826/RVC).	Parish:	Yate Town Council
Map Ref:	371262 184286	Ward:	Yate North
Application Category:	Minor	Target Date:	29th August 2019



© South Gloucestershire Council 2007.all rights reserved.
This map is reproduced from Ordnance Survey material with the permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office © Crown copyright. Unauthorised reproduction infringes Crown copyright and may lead to prosecution or civil proceedings.
100023410, 2008. **N.T.S.** **P19/7478/RM**

South Gloucestershire Councillors have five working days from date of publication to consider whether items appearing on the Circulated Schedule should be referred to the Development Management or Strategic Sites Delivery Committees for determination.

INTRODUCTION

This application appears on the circulated schedule because an objection has been received from Yate Town Council contrary to the officer recommendation.

1. THE PROPOSAL

- 1.1 This application seeks reserved matters consent for the erection of an electric substation. The reserved matters, which comprises layout, scale, appearance and landscaping should be read in conjunction with application PK17/4826/RVC. This outline consent included details of access into the site off Randolph Avenue and Leechpool Way, with provision for access from Peg Hill. The scheme benefits from an approved design code (North Yate New Neighbourhood Design Code Rev D-March 2017) and masterplan (Condition 39 Detailed Masterplan 4739-LDA-00-XX-DRL-0013), as well as a number of framework plans approved at outline stage.
- 1.2 The substation proposed is located on land allocated for the local centre on the eastern side of a central green corridor, which provides recreational routes linking Tanhouse Lane to Brimsham Park. The proposal is required to power phase 2 residential development at the North Yate New Neighbourhood, which is currently under construction.

2. POLICY CONTEXT

2.1 National Guidance

National Planning Policy Framework February 2019
National Planning Practice Guidance

2.2 Development Plans

South Gloucestershire Local Plan Core Strategy Adopted December 2013

CS1 High Quality Design
CS2 Green Infrastructure
CS4a Presumption in Favour of Sustainable Development
CS5 Location of Development
CS8 Improving Accessibility
CS9 Managing the Environment and Heritage
CS16 Housing Density
CS17 Housing Diversity
CS18 Affordable Housing
CS30 Yate and Chipping Sodbury
CS31 North Yate New Neighbourhood

South Gloucestershire Local Plan: Policies, Sites and Places Plan Adopted November 2017

PSP1 Local Distinctiveness

PSP2 Landscape
PSP3 Trees and Woodland
PSP6 Onsite Renewable and Low Carbon Energy
PSP8 Residential Amenity
PSP10 Active Travel Routes
PSP11 Transport Impact Management
PSP16 Parking Standards
PSP17 Heritage Assets and the Historic Environment
PSP19 Wider Biodiversity
PSP20 Flood Risk, Surface Water and Watercourse Management
PSP21 Environmental Pollution and Impacts
PSP37 Internal Space and Accessibility Standards for Affordable Dwellings
PSP43 Private Amenity Space Standards
PSP47 Site Allocations and Safeguarding

2.3 Supplementary Planning Guidance

The South Gloucestershire Design Checklist SPD (adopted)
The South Gloucestershire Residential Parking Standards SPD (adopted)
Waste Collection: Guidance for New Developers SPD (adopted)
Extra Care and Affordable Housing SPD (adopted)

3. RELEVANT PLANNING HISTORY

- 3.1 PK17/4826/RVC, Variation of conditions 12, 19 and 41 attached to outline Planning permission PK12/1913/O to rationalise and validate amendments to conditions previously granted under application reference numbers PK15/5230/RVC, PK16/2449/RVC, and PK17/0039/NMA. Approved on 27th November 2017.

4. CONSULTATION RESPONSES

4.1 Yate Town Council

Object – this revised plan is to put the electricity sub-station on one of the important long strategic open spaces, immediately west of the district centre. There is such a limited amount of designated open space that we strongly object to its location on this open space corridor.

4.2 Drainage Officer

No objection

4.3 Highway Structures Officer

No comment

4.4 Transportation DC Officer

We, Transportation Development Control has no in principal highway or transportation objection to this proposal although, it is noted that the plans submitted do not include the immediate context or the surrounding development and vehicular accesses nearby.

Other Representations

- 4.5 Local Residents
No comments received

5. ANALYSIS OF PROPOSAL

5.1 Principle of Development

North Yate New Neighbourhood is a major development site allocated by policy CS31 of the South Gloucestershire Local Plan Core Strategy (adopted) December 2013 for a major mixed use development of up to 3000 dwellings. Outline consent was subsequently granted on 17th July 2015 for a mixed use development across 100.76 hectares of land comprising up to 2450 new dwellings, including 4.63 hectares of employment land, a local centre, two primary schools and supporting infrastructure. This approval covers a substantial area of the NYNN allocation. A masterplan and design code for the North Yate New Neighbourhood were subsequently approved by the Local Planning Authority on 20th January 2017 and 12th May 2017 respectively.

The comments of Yate Town Council are noted; however, the substation is located on land that forms part of the local centre, as agreed under planning application no. PK17/4260/RM, and accords with the approved Land Use Framework plan. Given that the proposal is ancillary to residential development and would help to facilitate the surrounding development the principle of the development is considered to be acceptable.

- 5.2 The main issues to consider relate to appearance/visual amenity and layout, residential amenity and transportation.

5.3 Appearance/Visual Amenity

The substation is located within an enclosure, which has been amended so that it has less of a domestic appearance and would sit more comfortably within a local centre context. Accordingly, the enclosure has a slate grey mono-pitch roof and light grey hardieplank weatherboard cladding to the elevations. Access will be via black double doors. The substation is 1.5 metres from an existing hedgerow at the closest point, and given that a slab level for the substation is 73.850AOD and has been specified on the plan submitted, it is considered that the substation could be constructed without any adverse impacts to the hedgerow. The substation has been located in a discreet location where it will not be prominent from main views from the public realm, and will be screened by a hedgerow from views from the recreational route on the western side of the hedgerow. Accordingly, there are no objections in terms of appearance/visual amenity.

5.4 Residential Amenity

Given the scale and siting of the substation, it is not considered that residential occupiers will be significantly adversely affected through loss of natural light or privacy. Sketch plans submitted for the local centre under a separate pre-application enquiry indicate that residential buildings will be no closer than 10 metres to the substation; therefore, it is not considered that occupiers will be significantly adversely affected in terms of noise.

5.5 Transportation

The substation is located clear of the public highway and will not impede pedestrian or vehicular movements to the detriment of highway safety. The Transportation Officer's comments regarding the plans lacking context is noted; however, the plans are considered to be adequate to allow the proposal to be considered. Given the nature of the proposal, it is not considered that it would generate a significant number of vehicular or pedestrian trips. A greater level of context in terms of pedestrian/vehicular access to and movements around the local centre would be expected to be provided in the application for the local centre, which will be submitted in due course.

5.6 Consideration of likely impact on Equalities

The Equality Act 2010 legally protects people from discrimination in the workplace and in wider society; it sets out the different ways in which it is unlawful to treat someone. As a result of this Act the public sector equality duty came into force. Among other things those subject to the equality duty must have due regard to: eliminate unlawful discrimination, harassment and victimisation; advance equality of opportunity and foster good relations between people who share a protected characteristic and those who do not. The general equality duty therefore requires organisations to consider how they could positively contribute to the advancement of equality and good relations. It requires equality considerations to be reflected into the design of policies and the delivery of services.

With regards to the above this planning application it is considered to have a neutral impact on equality.

6. CONCLUSION

- 6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.
- 6.2 The recommendation to grant consent has been taken having regard to the policies and proposals in the development plan set out above, and to all the relevant material considerations set out in the report.

7. RECOMMENDATION

- 7.1 Reserved matters consent is GRANTED.

Contact Officer: Jonathan Ryan
Tel. No. 01454 863538