

# List of planning applications and other proposals submitted under the planning acts to be determined by the director of environment and community services

**CIRCULATED SCHEDULE NO: 26/21**

**Date to Members: 02/07/2021**

**Member's Deadline: 08/07/2021 (5.00pm)**

The reports listed over the page form the 'Circulated Schedule' a procedure agreed by Council in July 2020. Under the arrangement certain reports are circulated on a weekly basis. The reports assess the application, considers representations which have been received, and make a recommendation regarding the proposal.

Having considered the reports, those applications that Councillors feel should be referred to the relevant Planning Committee must be notified to the Strategic Planning section by email within five working days of the publication of the schedule (by 5pm) in line with the procedure set out below. If there has been no valid Member request for referral within the time period, the decision notices will be issued in line with the recommendation in this schedule.

Before referring an item to the Committee, it is recommended that Members speak to an officer about the issue, to explore whether any problems can perhaps be resolved without the need for referral to a Committee. You may also wish to refer to the guidance given in the Members' Planning Code of Good Practice in the Council's constitution, which sets out the criteria the Chair of the Committee, in consultation with the Spokes will use to consider any referral requests.

**PLEASE NOTE: The circulated schedule process is only open to elected Members of South Gloucestershire Council.**

## NOTES FOR COUNCILLORS

### – formal arrangements for referral to committee

**If any Member requires any of the proposals listed in the Schedule to be considered by the appropriate planning committee then a referral should:**

- a) Be made in writing using the attached form by emailing [MemberReferral@southglos.gov.uk](mailto:MemberReferral@southglos.gov.uk) identifying the application reference and site location
- b) Within 5 working days of the date of this schedule e.g. if the schedule is published on a Friday, comments have to be received by end of the following Thursday (see cover page for the date)
- c) The referral should include the reasons for the referral why it would not be appropriate to permit the proposal to be determined under the delegated arrangements; the issue the proposal raises in relation to the relevant policy context and the balanced consideration that has been given to the extra costs and delay to the referral You may wish to consider the guidance given in the Members' Planning Code of Good Practice in the Council's constitution, which sets out the criteria the Chair of the Committee, in consultation with the Spokes will use to consider any referral requests.

If would be helpful if you could indicate if you:-

- Have discussed the application(s) with the Case Officer and/or Development Manager
- Have discussed the application(s) with ward Member(s) if the site is outside of your ward
- Consider the site would benefit from a visit by the committee, setting out the reasons

Valid referral requests will be considered by the Committee Chair, in consultation with the Spokes, against the criteria given in the Members' Planning Code of Good Practice in the Council's constitution and you will be notified of the Chair's decision. Applications which are not referral, or where the referral request is not agreed by the Chair, will be determined by officers under delegated powers

**The Circulated Schedule will always contain the following applications unless the application is required to be determined by Committee:**

- 1) Any application submitted by, or jointly, or on behalf of the Council.
- 2) Any application submitted by or any matter directly affecting or involving any

Member of the Council and any application(s), submitted by an Officer of the Council working in the Strategic Planning area (specifically the Policy and Specialist Advice, Development Management, Strategic Major Sites and Planning Enforcement, Validation & Registration and Planning Technical Support teams) or any Member or Officer of the Council acting as a planning agent.

- 3) Any application requiring a new planning agreement.
- 4) Any applications requiring a modification of an existing planning agreement where in the opinion of the Director, there would be a detriment to the public benefits secured.

5) Any application where the proposed decision of the Director would, in his opinion, be contrary to the policies of the Council as expressed in the Development Plan and/or any emerging plan and require referral to the Secretary of State following approval in principle by the Council for the purposes of development control decision making.

6) Any applications, except those listed below a-f where three or more representations contrary to the Officers recommendation are received within the notification period other than from officers of the Council acting in their professional capacity.

7) Any applications, except those listed below a-f where a representation is received within the notification period which is contrary to the officers recommendation from the Parish or Town Council within whose boundary the proposal lies wholly or in part.

8) Any applications, except those listed below a-f where a representation is received within the notification period which is contrary to the officer's recommendation from any Member of South Gloucestershire Council.

Applications that will not appear of the Circulated Schedule procedure as a result of representations received:

a. All applications, where approval is deemed to be granted upon the expiry of a defined period

b. All applications to be determined the lawfulness of a proposed or existing use of a site

c. All applications for non-material amendments

d. All applications to discharge planning conditions

e. All applications solely required because of the removal of Permitted Development Rights or Article 4 direction

f. Any footpath stopping up or diversion required to implement an approved scheme

### **Additional guidance for Members**

Always make your referral request by email to [MemberReferral@southglos.gov.uk](mailto:MemberReferral@southglos.gov.uk) (not individual email addresses), where referrals can be picked up quickly by the Technical Support Team.

Please note a copy of your referral e mail will appear on the website.

Before referring an application always contact the case officer or Development Manager first to see if your concerns can be addressed without the application being referred.

If you are considering referring in an application outside the ward you represent, as a courtesy, speak to the ward Member(s) to see what their views are, before referring the application.

Always make your referral request as soon as possible, once you have considered all the application details and advice of the case officer. Please do not leave it to the last minute.

A template for referral is set out below:

## Referral from Circulated Schedule to Development Management Committee

1. Application reference number:

2. Site Location:

3. Reasons for referral:

The referral should include the reasons for the referral indicating why it would not be appropriate to permit the proposal to be determined under the delegated arrangements; the issues the proposal raises in relation to the relevant policy context and the balanced consideration that has been given to the extra costs and delay of the referral

4. If the site is outside your ward have you contacted the ward Member(s) to inform them of the referral?

5. Have you discussed the referral with the case officer or Development Manager?

6. Do you feel a site visit is required or can issues be addressed by other means e.g. further information in the report, additional presentation material, video etc.

**Do you consider this is an application of strategic importance such that you would request the Director to consider using his discretion to refer the matter to the Strategic Sites Delivery Committee? If so please set out your reasons:**

**Date:**

To be emailed to [MemberReferral@southglos.gov.uk](mailto:MemberReferral@southglos.gov.uk)

# CIRCULATED SCHEDULE 02 July 2021

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ITEM NO.	APPLICATION NO	RECOMMENDATION	LOCATION	WARD	PARISH
1	P19/15643/O	Approved Subject to Section 106	Land East Of Cedar Lodge Charlton Common Bentry Bristol South Gloucestershire BS10 6LB	Charlton And Cribbs	Almondsbury Parish Council
2	P20/09157/F	Approve with Conditions	Land At 103 And 105 Alma Road Kingswood South Gloucestershire BS15 4EG	Kingswood	
3	P20/21981/F	Approve with Conditions	Kleeneze Sealtech Ltd Ansteys Road Hanham South Gloucestershire BS15 3SS	Hanham	Hanham Parish Council
4	P21/00787/F	Approve with Conditions	Milbury House Whitewall Lane Buckover South Gloucestershire GL12 8DY	Thornbury	Thornbury Town Council
5	P21/02427/F	Approve with Conditions	Beaumont House Back Street Hawkesbury Upton South Gloucestershire GL9 1BB	Chipping Sodbury And Cotswold Edge	Hawkesbury Parish Council
6	P21/02429/F	Split decision See D/N	97C Conygre Grove Filton South Gloucestershire BS34 7DW	Filton	Filton Town Council
7	P21/02531/F	Approve with Conditions	Station Lodge 2 Station Road Yate South Gloucestershire BS37 4PS	Yate Central	Yate Town Council
8	P21/02714/F	Approve with Conditions	1 Grange Park Frenchay South Gloucestershire BS16 2SZ	Frenchay And Downend	Winterbourne Parish Council
9	P21/03030/F	Approve with Conditions	32 Tower Road North Warmley South Gloucestershire BS30 8YE	Parkwall And Warmley	Siston Parish Council

**CIRCULATED SCHEDULE NO. 26/21 -2nd July 2021**

<b>App No.:</b>	P19/15643/O	<b>Applicant:</b>	BAE Systems Plc
<b>Site:</b>	Land East Of Cedar Lodge Charlton Common Bentry Bristol South Gloucestershire BS10 6LB	<b>Date Reg:</b>	8th November 2019
<b>Proposal:</b>	Erection of up to 29no dwellings and associated works (Outline) with access to be determined, all other matters reserved.	<b>Parish:</b>	Almondsbury Parish Council
<b>Map Ref:</b>	358764 179987	<b>Ward:</b>	Charlton And Cribbs
<b>Application Category:</b>	Major	<b>Target Date:</b>	6th February 2020



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N.T.S.

P19/15643/O

South Gloucestershire Councillors have five working days from date of publication to consider whether items appearing on the Circulated Schedule should be referred to the Development Management or Strategic Sites Delivery Committees for determination.

### **EXTENSION OF TIME REQUIRED**

This application originally received a resolution to grant outline planning approval, subject to s106 agreement through the Council's Circulated Schedule procedure on 18<sup>th</sup> December 2020.

This application now appears again on the Circulated Schedule as the 6 month timeframe stated in Par.7.5 below has now lapsed. Par.7.5 reads,

*Should the agreement not be completed within 6 months of the date of this Circulated Schedule report that delegated authority be given to the Director of Planning, Transport and Strategic Environment to refuse the application if an extension of time to complete the agreement is not sought.*

As such an extension of time has been sought and a further 2 month period has been agreed with the applicant to expire on 9<sup>th</sup> September 2021. This further extension of time is required for Officers and Legal Services to finalise the Section 106 process which is at a very advanced stage, all matters now having been resolved.

Par.7.5 will now read (note the completion timeframe is now 2 months from this Circulated Schedule),

Should the agreement not be completed within 2 months of the date of this Circulated Schedule report that delegated authority be given to the Director of Planning, Transport and Strategic Environment to refuse the application if an extension of time to complete the agreement is not sought.

## **1. THE PROPOSAL**

1.1 Outline planning permission is sought for the erection of up to 29 dwellings including 35% affordable dwellings. All matters are reserved for future consideration except means of access, which is proposed to be a new access road from Charlton Road. The proposal would provide for a new footpath and cycle link into the former Filton Airfield site, and a new footpath & cycle link to Charlton Common.

1.2 The following have been submitted for approval as part of any Outline consent:

- Access and Land use parameter Plan
- Scale Parameter Plan
- Design and Access Statement

### **Supporting Information**

In support of the application, the following documents have been submitted:

- Planning Statement
- Biodiversity Survey and Report
- Transport Assessment
- Heritage Statement

- Flood Risk Assessment
- Land Contamination Report
- Arboricultural Impact and Tree Survey
- Planning Statement

### 1.3 Revisions to the scheme

Since the application was originally submitted the following revisions to the proposal have been made:

- Deletion of indicative masterplan from the proposal
- Amendments to scale parameter plan to take account of listed building
- Increase in to public open space on the land use parameter plan
- Increase in the amount of retained vegetation on the land use parameter plan
- Further detail of proposed access and future pedestrian and cycle links

### 1.4 Site and location

The site is approximately 0.89 hectares in area, on the northern side of Charlton Road. It currently consists of hardstanding from the former temporary caravan park, with rough grassland and overgrown scrub and trees. The site is roughly triangular in shape. To the north of the site is Filton Airfield, which has outline consent for a major residential-led mixed use development. To the west lies the listed building Cedar House, and abutting the site, Cedar Lodge and a new development of 13 dwellings. Charlton Road currently terminates towards the south of the site. A new 'bus only' route – the 'north south link' will run across the airfield development, linking into Charlton Road near the application site. The boundary to the north and east primarily consists of overgrown scrub, unmanaged hedgerows and trees. A landscape bund separates the site from the access roads to the commercial & employment facilities to the east. A close boarded fence is situated on the boundary of Cedar Lodge to the west.

## **POLICY CONTEXT**

### 2.1 National Guidance

National Planning Policy Framework 2019  
National Planning Practice Guidance

### 2.2 Development Plans

#### South Gloucestershire Local Plan Core Strategy Adopted December 2013

CS1 High Quality Design  
CS2 Green Infrastructure  
CS4 Renewable or Low Carbon District Heating Networks  
CS5 Location of Development  
CS6 Infrastructure and Developer Contributions  
CS7 Strategic Transport Infrastructure  
CS8 Improving Accessibility  
CS9 Managing the Environment and Heritage  
CS16 Housing Density  
CS17 Housing Diversity  
CS18 Affordable Housing



CS23 Community Infrastructure and cultural Activity  
 CS24 Green Infrastructure, Sport and Recreational Standards  
 CS25 Communities of the North Fringe of Bristol Urban Area  
 CS26 Cribbs Patchway New Neighbourhood

South Gloucestershire Local Plan: Policies Sites and Places Plan (Adopted Nov 2017) (PSP).

PSP2 Landscape  
 PSP3 Trees and Woodland  
 PSP6 - Onsite Renewable and Low Carbon Energy  
 PSP10 Active Travel Routes  
 PSP11 Transport Impact Management  
 PSP13 Safeguarding Strategic Transport Schemes and Infrastructure  
 PSP16 Parking Standards  
 PSP17 Heritage Assets and the historic environment  
 PSP19 Biodiversity  
 PSP20 Flood Risk, surface water and watercourse management  
 PSP21 Environmental pollution and impacts  
 PSP37 Internal Space and Accessibility Standards for Affordable Dwellings  
 PSP43 Private Amenity Space Standards  
 PSP47 Site Allocations and Safeguarding

2.3 Supplementary Planning Guidance

Cribbs Patchway New neighbourhood Development framework SPD (adopted March 2014)  
 Landscape Character Assessment SPD (Aug 2005)  
 Residential Parking Standards SPD (Dec 2013)  
 Affordable Housing and Extra Care Housing SPD (May 2014)  
 South Gloucestershire Play Strategy (Agreed by Cabinet 2006)  
 South Gloucestershire Statement of Community Involvement (Adopted)

3. **RELEVANT PLANNING HISTORY**

*Current application site:*

- PT17/1209/F- Land East Of Cedar Lodge: Erection of 32no. dwellings (Class C3) including affordable homes, sustainable urban drainage, vehicular access, pedestrian and cycle accesses and associated works. Withdrawn June 2020.
- N1052/10, Cedar Lodge, Charlton Common: Use of approximately 1.27 acres of land for storage of touring caravans. Construction of new vehicular access. Planning permission granted 13.8.81

*Adjacent sites:*

- PT17/3227/F- Land North Of Charlton Road at the former Filton Airfield: Construction of a public transport access on Charlton Road into the former Filton Airfield site, comprising a 6.5m wide bus access, 3m wide pedestrian/cyclist route, installation of cctv bus gate and relocation of existing security building. Planning permission granted 21<sup>st</sup> Feb 2018.

- PT13/0404/O- Kennels, Cedar Lodge Charlton Rd: Erection of 13 no. dwellings (Outline) with access to be determined. All other matters reserved (Resubmission of PT11/1805/O). Outline consent granted May 2014.
- PT16/6845/RM-Kennels, Cedar Lodge, Charlton Rd: Erection of 13 no. dwellings with appearance, landscaping, layout, scale and associated works (Approval of reserved matters to be read in conjunction with PT13/0404/O). Consent July 2017.
- PT12/1930/O- land at Fishpool Hill/Wyck Beck Road: Mixed use development on 53.8ha comprising up to 1,000 dwellings Outline permission 16<sup>th</sup> July 2020.
- PT14/3867/O- Filton Airfield: Mixed use development including up to 2,675 dwellings. Outline consent granted 1<sup>st</sup> March 2018.

#### 4. **CONSULTATION RESPONSES**

##### Almondsbury Parish Council

No comments received.

##### Police Crime Prevention Officer

Paragraphs 91, 95 and 127 of the National Planning Policy Framework February 2019 require crime and disorder and fear of crime to be considered in the design stage of a development. Other paragraphs such as 8, 104, 106, 110, 117, and 127 also require the creation of safe environments within the context of the appropriate section. Having viewed the revised information as submitted I find the design to be in order and complies appropriately with the crime prevention through environmental design principles.

##### Avon Fire and Rescue

Avon Fire & Rescue Service will have additional Hydrant requirements associated with this application. Central Government does not provide any funding to Avon Fire & Rescue Service for the capital cost of growth related infrastructure. The additional residential development will require an additional hydrant to be installed and appropriately-sized water mains to be provided for fire-fighting purposes. This additional infrastructure is required as a direct result of the developments and so the costs will need to be borne by developers either through them fitting suitable mains and fire hydrants themselves and at their cost or through developer contributions. Avon Fire & Rescue Service has calculated the cost of installation and five years maintenance of a Fire Hydrant to be £1,500 + vat per hydrant.

##### Local Residents

One letter has been received from a local resident stating that the boundary between Cedar Lodge and the new development is incorrect on the 12th November plan but correct on the 4th November plan. The 8ft high wire fence, erected by us, that is in place outside the timber fence has been in place for over 20 years. The line of the remaining land parallel to the Siddeley Close

boundary is continued down to the road by an electric fence. Also on all the plans the boundary between Cedar Lodge and Siddeley Close is incorrect, it should be a straight line.

SGC Internal consultees

SGC Tree Officer

In accordance with the details submitted within the Arboricultural report any tree removals will be mitigated for by new planting to be detailed within the landscape plan. Provided the works are in accordance with the submitted Arboricultural documents there are no objections to this application.

SGC Self Build Officer

PSP42 requires the Council to encourage developers to provide serviced plots on residential sites over 10 dwellings, we request that the applicant considers serviced plot provision for this proposed scheme.

SGC Highway Structures

Standard advice given regarding the need to get technical approval from in the event that there are any structures which will support the highway or support the land above a highway. If the application includes a boundary wall alongside the public highway or open space then the responsibility for maintenance for the structure will fall to the property owner.

SGC Urban Design Officer

No objection. Detailed comments can be found in the *Analysis* section of this report below.

SGC Lead Local Flood Authority

The Drainage and Flood Risk Management Team (Engineering Group - Street Care) has no objection in principle to this application subject to the following comments.

Having reviewed the document '*Flood Risk Assessment and Drainage Strategy*' produced by Vectos and dated September 2019, the LLFA are in acceptance of the proposed surface water drainage strategy for the development as outlined in this technical document. The surface water drainage strategy outlined in the document proposes that surface water runoff generated by the site be discharged at a restricted rate of 2.4l/s for all storm events up to and including the 100 year plus 40% climate change event to an existing Wessex Water (Public) Surface Water Sewer located to the south of the site. This will be achieved by restricting flows using a flow control device and by providing underground attenuation storage.

If the application were to be approved then we would recommend that a condition be applied in order to obtain the detailed design for the surface water drainage strategy.

SGC Landscape Architect

The proposals are considered generally acceptable. However the acceptability of the final scheme will depend on the successful retention of the ecological buffer and as many of the existing trees as possible within the layout, as shown

on the Arboricultural Impact Assessment. The RM application should include a vegetation retention and removal plan, existing and proposed levels, a planting plan detailing the landscape mitigation proposed and a LEMP.

SGC Archaeology Officer

No objection subject to a condition.

SGC Listed Building and Conservation Officer

In terms of the originally submitted scheme, which included an illustrative masterplan, the Council's Conservation Officer had concerns over the NW corner of the site and the resultant impact of development on the setting of the nearby listed Cedar House.

In terms of the revised scheme, the Conservation Officer notes the revised Design and Access Statement and the replacement of the illustrative masterplan with the parameter plans. At this stage, the parameter plans appear acceptable in principle in terms of protecting the green space, limiting development to two storeys in the NW zone and stepping up to 2.5 storey closer to the road. However, in the absence of a detailed layout, it is not possible to make an informed assessment of the impact of development on the setting of the listed building so I would welcome further details, if possible, of this NW corner of the site. The applicant needs to demonstrate that the site is capable of accommodating this number of dwellings in a way that creates a high quality scheme that respects the setting of the listed building as well as reinforcing local distinctiveness.

SGC POS officer

Comments on the originally submitted scheme are set out in the table below. The planning officer note however that as there is now 174sqm of play area provided on site, this part of the table is out of date

Category of open space	Min spatial requirement to comply with policy CS24 (sq.m.)	Spatial amount proposed on site (sq.m.)	Shortfall in provision (sq.m.)	Contributions towards off-site provision and/or enhancement	Maintenance contribution
Informal Recreational Open Space	There is an existing good supply of Informal Recreational Open Space				
Natural and Semi-natural Open Space	There is an existing good supply of Natural and Semi - natural Open Space				
Outdoor Sports Facilities	1,113.6	0	1,113.6	£60,991.98	£18,460.26
Provision for Children and Young People	174	0	174	£31,932.86 However, Provision for Children and Young People should be provided on-site	£33,577.65
Allotments	139.2	0	139.2	£1,398.08	£1,782.66

If the applicant proposes private management of POS and surface water infrastructure the Council must be confident that the value of any service to the public is sustainable and does not create ambiguity in how people access those services should they have concerns or requests. Provisions to ensure suitable and secure in-perpetuity arrangements for operation, management and maintenance of all the public open spaces and surface water infrastructure (SWI within POS that is not adoptable by a statutory undertaker) will need to be incorporated into the Section 106 and the Council charges a fee (£52.00 per 100sq.m.plus £500 core service fee) to inspect the open spaces to ensure their compliance with the approved plans prior to transfer to the private management entity.

### SGC Ecologist

The Ecology Officer originally stated that the development needs to retain a linear belt of scrub along its northern boundary which will enable the site to continue to provide nesting habitat for a variety of national Priority bird species; and strengthen the green infrastructure of the Airfield's Outline masterplan to the immediate north.

In addition, the application needs to off-set the loss of the site's semi-improved meadow by creating new areas of species-rich wildflower grassland. The inter-relationship with the proposed highways improvement along Charlton Way and the potential to use the verge alongside the eastern boundary of the site should be delineated within the application.

In response to the current revised plans, the SGC Ecologist states that the updated parameter plan now shows an indicative linear belt of scrub being retained along most of the northern boundary. There are two areas of public open space that will be restored to species rich grassland (approx. 0.1ha) also indicated on this parameter plan. However, these areas are still only two, relatively small, separate blocks of grassland and the one within the north-west corner of the site, should preferentially form part of the northern scrub belt along the Airfield boundary, it also contains a play area and a pond (this pond needs to be included in the parameter plan key), thus reducing its area to create species-rich wildflower grassland.

The application still needs to off-set the loss of the site's semi-improved meadow by creating new areas of species-rich wildflower grassland and the belt of scrub needs to be extended along the full length of the northern boundary. The offset option mention above (Charlton Way) still need to be explored if more meadow habitat cannot be created on site.

Subject to this being satisfactorily resolved, Conditions should be attached in relation to a LEMP, bat boxes, a lighting plan, badger, hedgehog and nesting birds.

### The Highway Authority ( SGC Transport DM)

There is no objection to the application. The applicants have provided revised plans that overcome the original concern, and have agreed to a contribution towards a footway enhancement. Details can be found in the analysis section of this report below.

#### SGC Housing Enabling

No objection subject to a Section 106 Agreement to require the affordable housing to be provided on site at nil public subsidy:

- 35% Affordable Housing with a tenure split of 76% Social Rent and 24% Shared Ownership of which 8% will be provided as Wheelchair accommodation for social rent tenure.

In addition, M4(2) and M4(3)(2)(a) planning conditions and informative.

#### SGC Environmental Policy

No objection subject to a condition requiring Reserved Matters to include a Sustainable Energy Statement that demonstrates how the development will meet SGC Development Plan Policies and Building Regulations applicable at that time. The development shall be constructed in accordance with the development plan policies, and Building Regulations applicable at the time of construction.

#### SGC Public Art

Policy CS1 High Quality Design Point 7 states that where the scale, location and/or significance of the new development proposals warrants it, embedded public art within the public realm or in a location where it can be viewed from public areas should be provided. In the light of this policy basis, if the application is approved, the Council should apply a planning condition for a public art programme that is relevant and specific to the development and its locality. The programme should be integrated into the site and its phasing plan. Given the location of this site in the context of the wider Cribbs Patchway New Neighbourhood, I believe that a scheme would be desirable and appropriate to link to the wider development although the site itself falls one house below the size of development we would normally request a public art scheme for.

## **5. ANALYSIS OF PROPOSAL**

### **5.1 Principle of Development**

The site lies within the major mixed use development planned on 480ha of land at Cribbs Causeway Patchway and Filton as defined by Policy CS26 of the adopted South Gloucestershire Local Plan: Core Strategy.

Policy CS26 states that *“It is essential that an area-wide adopted SPD is the policy delivery mechanism to ensure development is comprehensively planned and delivered in accordance with... high quality urban design principles as set out in Policy CS1.”*

It goes on to state that *“Development proposals ... should positively facilitate and not prejudice the development of surrounding areas of the New Neighbourhood, and meet the overall vision for the transformation of the area.”*

- 5.2 The Cribbs/Patchway New neighbourhood Development Framework SPD was adopted in March 2014 It states that *“Where delivery of infrastructure set out within the SPD is dependent on collaboration from other individuals or organisations applicants will be required to provide formal evidence that this can and will be achieved. To this end, South Gloucestershire Council are facilitating a collaboration agreement (or equivalent) as the most effective mechanism for securing coordinated delivery of sustainable development and infrastructure across the area.”*

In requiring development to be comprehensively planned and delivered at Cribbs Patchway the Council is seeking to ensure the required infrastructure for the whole site is delivered at the appropriate time, in the appropriate location. Firstly this relates to ensuring access between individual development sites within the New Neighbourhood, and secondly to the timing and delivery of infrastructure, services and facilities.

In terms of ensuring the timely delivery of infrastructure, services and facilities the Council have approved an overarching S106 Agreement between other parties within the Cribbs/ Patchway New Neighbourhood that establishes what infrastructure (set out in the adopted SPD) would be provided where, and by whom. This ‘Framework’ Agreement secures the delivery of the majority of infrastructure required as a result of delivery of the whole of the new neighbourhood (including this site) and so it is not considered necessary to request delivery of, or contributions to those items. However, the application site is liable for CIL, together with any site specific infrastructure/ facility requirements which are not covered by the Framework Agreement. These issues are clarified later in this report.

- 5.3 The adopted SPD also clarifies where infrastructure should be delivered to best serve the whole new neighbourhood, set out on pages 18-19 of the SPD in a framework diagram. This indicates that the site lies adjacent to the public transport only, and cycleway/pedestrian north south link between Charlton Road and Hayes Way. No items of infrastructure are required to be delivered as part of this application.
- 5.4 In addition the Council endorsed a ‘Framework Plan’, submitted jointly by developers of the wider Cribbs/ Patchway new Neighbourhood. The intention of this document is to add detail to the contents of the SPD, and show how the infrastructure required by the SPD could be provided within the allocation. This endorsed plan also shows that no on-site infrastructure is required to be delivered on this site.

For these reasons it is considered that the principle of the proposal accords with the requirement for comprehensive development set out in Policy CS26 and the SPD.

## 5.5 Urban Design

Whilst Policy CS26 sets out the more strategic objectives and requirements for development of the whole new neighbourhood, the SPD seeks to clarify four key delivery issues. The key design objectives that this site should contribute towards are;

- a) creating and improving opportunities for sustainable movement in and around the area, and
- b) contributing to the delivery of a substantial, interconnected and multi-functional network of spaces and green infrastructure.

### *Sustainable Movement*

The revised parameter plans indicate two pedestrian and cycle links in the north east corner of the site: both into the Airfield site to the north, and to the Charlton Common area to the west. It is considered that these links are essential to integrating the site with the surrounding wider new neighbourhood

### *Interconnected Green infrastructure*

The revised parameter plans indicate open space in the north western corner which will connect to Charlton Common, further it will link with the retained scrub along the northern boundary of the site, also indicated on the parameter plan. It is therefore considered that the proposed scheme complies with the SPD in this respect too.

### *Site layout*

The indicative masterplan was removed from consideration of the application due to concerns regarding the form and layout which was unacceptable in terms of urban design, heritage and landscaping. The submitted land use parameter plan now shows the extent of development with two open areas within the site, which are considered to ensure that the heritage, POS, landscape and ecology matters can be appropriately met as well as the proposed housing.

Other parameters set out in the DAS relate to the scale and density, with higher density, 2-2½ storey at the site entrance, to the east & to the north-east of the site, and lower density, 2 storey to the north-west of the site, respecting the setting, scale & mass of Cedar House.

At Reserved Matters stage the Council will be looking for very well-designed scheme, which complies with design policies set out in the NPPF, National Design Guide and the Development Plan. This includes the use of high-quality and locally distinctive materials, for any built forms and areas of public realm.

## 5.6 Landscape

As the site was formerly a caravan park, the majority of it comprises hard standing/chippings with scrub encroachment from the overgrown boundary hedgerows. The land is relatively flat and has overgrown hedgerows defining the northern and eastern site boundaries. The original hedgerow enclosing the western site boundary has now been mostly removed to accommodate the adjacent housing development of 13 houses recently constructed.



The site lies within the Patchway & Filton Landscape Character Area (area 15). There are no landscape designations on the site. The vegetation comprises native hedgerows containing hedgerow trees, the majority of which lie outside the actual site boundary. These hedgerows are unmanaged and outgrown, with encroachment of large areas of Bramble and scrub into the site margins. There are also a number of individual trees, species such as Ash, Hawthorn and Willow.

The revised Parameter Plans show the proposed zones of development, with 2 small areas indicating POS, a play area and species rich grassland. The parameter plans show an ecological buffer along the northern boundary, which will be preserved and enhanced within the layout.

The RM layout should include a good level of landscape mitigation, incorporating street tree planting and preferably retaining the mature tree at the centre of the scheme, although this is not shown on the Parameter Plan.

*PSP2 3.24 states 'Amenity space, hard and soft landscape works or open space provision should be designed as an integral part of the development. These should be located and laid out in such a way as to maintain or enhance the local environment, incorporating existing natural vegetation and features wherever possible, for the benefit of the appearance of the development'.*

An Area Tree preservation Order (TPO) was applied to the site on 5 February 2014, to protect all the existing trees on site. The majority of trees, tree groups and hedgerows are category B, or U. The best trees, a category B Field Maple and category B Hawthorns, are being retained within the layout as presently shown. A tree protection plan should be submitted with Reserved Matters, and this is secured through a condition.

The Council's landscape architect has confirmed that the proposals are considered generally acceptable. However the acceptability of the final scheme will depend on the successful retention of the ecological buffer and as many of the existing trees as possible within the layout, as shown on the Arboricultural Impact Assessment. The RM application should include a vegetation retention and removal plan, existing and proposed levels, a planting plan detailing the landscape mitigation proposed and a Landscape and Ecological Management Plan. Subject to the inclusion of conditions to secure these aspects, and conformity with the Parameter Plans, the Outline proposal is considered acceptable in landscape terms and in accordance with Policy PSP2.

## 5.7 Heritage

The site lies to the east of the grade II listed Cedar House which is located on the edge of the Charlton Common, a small residual area of common left over after the construction of the runway and the demolition of the historic village of Charlton. The lodge is surrounded by mature trees and hedgerows to the extent that it is heavily screened from the road leading through the common. It does, however, become visible as one moves along the small access road leading to Cedar House and the modern dwelling (Cedar Lodge) to the south. The application site is partially screened from Cedar House by trees and overgrown hedges but there are clear views of the western boundary from the

lane. The listed building is largely surrounded by trees and, other than the view of Cedar House to the south, it still retains a feeling of isolation and remoteness, well away from the suburban edge of Filton. The majority of the proposed development will have no impact on the setting of the listed building, but the NW corner of the site is close to Cedar House and will be seen as part of its wider setting.

The Council's Conservation Officer had concerns regarding the originally submitted masterplan which indicated the built form of the development closer Cedar House than the present Cedar Lodge and, consequently into its setting. A more generous gap between the new development and the western boundary that avoids the sense of encroachment into the setting of the listed building as well as providing more space for landscaping generally was sought. In addition it was noted that no provision was made for access to the Common highlighted on the historic OS maps.

With regard to the revised Design and Access Statement and the replacement of the illustrative masterplan with the parameter plans, the Council's Conservation Officer has stated that the parameter plans appear acceptable in principle in terms of protecting the green space, limiting development to two storeys in the NW zone and stepping up to 2.5 storey closer to the road. However, in the absence of a detailed layout, it is not possible to make an informed assessment of the impact of development on the setting of the listed building so would welcome further details, of this NW corner of the site and to demonstrate the scheme respects the setting of the listed building as well as reinforcing local distinctiveness. Nevertheless, it has been clarified by the Conservation Officer that the parameter plans do give a reasonable basis for the reserved matters to be based on, at which point the layout and massing will be known. And if the RMs respect the two parameter plans in terms of scale and the green buffer which provides separation from the listed building then the new development will be in keeping with what is there at the moment (the modern Cedar Lodge). Further, it is considered that having regard to the previous permitted use of the site as a caravan storage area, there is scope of enhancement of the setting of the listed building. The proposal is therefore considered to be in compliance with Policy CS9 of the Core Strategy, and Policy PSP17 of the PSP.

## 5.8 Ecology

The Ecology Officer originally stated that the development needs to retain a linear belt of scrub along its northern boundary which will enable the site to continue to provide nesting habitat for a variety of national Priority bird species; and strengthen the green infrastructure of the Airfield's Outline masterplan to the immediate north.

In addition, the application needs to off-set the loss of the site's semi-improved meadow by creating new areas of species-rich wildflower grassland. The inter-relationship with the proposed highways improvement along Charlton Way and the potential to use the verge alongside the eastern boundary of the site should be delineated within the application.

In response to the current revised plans, the SGC Ecologist states that the updated parameter plan now shows an indicative linear belt of scrub being retained along most of the northern boundary. There are two areas of public open space that will be restored to species rich grassland (approx. 0.1ha) also indicated on this parameter plan. The Council's ecologist notes that as these areas are still only two, relatively small, separate blocks of grassland and the one within the north-west corner of the site also contains a play area and a pond, thus reducing the amount of species-rich wildflower grassland. So in order to further off-set the loss of the site's semi-improved meadow, new areas of species-rich wildflower grassland should be created and the belt of scrub needs to be extended along the full length of the northern boundary.

The planning officer considers that it is more important, in the public interest, to provide a pedestrian and cycle link through the northern boundary of the site, into the former Airfield mixed use development, hence it is not appropriate to extend the retained vegetation buffer along the full extent of the northern boundary; a gap for this link is required. This is what is shown on the parameter plan. With regard to the aim of providing further meadow habitat creation, the Ecologist originally suggested this be considered along the highway verge on Charlton Way. The planning officer considers that in view of the relatively small nature of the site, this would be the most efficient way of providing additional meadow, particularly as the verges are wide adjacent to the site. It is recommended that this is secured by condition.

Subject to this condition and others relating to a landscape and ecological management plan, bat boxes, a lighting plan, badger, hedgehog and nesting birds, the proposal is satisfactory in ecology terms.

## 5.9 Transport

### *Policy background*

The site forms part of the Cribbs Patchway New Neighbourhood (CPNN) and is allocated under Policy CS26 of the Core Strategy and the adopted Supplementary Planning Guidance (the CPNN SPD). This secures the development against the delivery of funding for a Transport Package. This package embraces all modes and is designed to ameliorate the development's impact, and wherever possible, to resolve the existing constraints on the network. Within the CPNN, the main sites' contributions to this package are secured through the overarching S 106 Framework Agreement, referred to above under *Principle of Development*.

However as the current application site is not party to this agreement, so separate contributions for strategic transport infrastructure via the CIL process will be secured from this site. The application also needs to address its own local transport impacts.

The CPNN SPD indicates that no items of strategic infrastructure are required as part of this application.

#### 5.10 *Vehicular access*

It is proposed to access the new houses from the existing Charlton Road. Since this application was submitted much of the highway layout on Charlton Common has been upgraded. Hence, the originally submitted proposals for the site's access junction onto Charlton Road was considered inappropriate. Therefore, the applicants were requested to review their design to ensure that it now ties in with the enhanced road layout. Revised plans now satisfactorily show this.

Transport DC noted that a TRAC plot had not been undertaken to determine whether a refuse vehicle of the Council's standard dimensions could successfully negotiate the on-site road network. However as the Illustrative masterplan has now been withdrawn for consideration, this analysis is unnecessary. A condition will be required to ensure that this analysis takes place at the detailed design stage.

#### 5.11 *Pedestrian and cycle network*

The originally submitted scheme indicated poor connections between this site and other local pedestrian facilities, especially on the northern side of Charlton Common. To overcome these concerns the applicants have incorporated a pedestrian crossing facility into their proposed junction layout. They have also agreed to construct a footpath on the northern side of the road. It is not possible for these works to be carried out immediately as this area is currently occupied by the bus turn-back loop which must remain in place until the Airfield is redeveloped to provide the North-South Link to The Mall. Hence, it has been further agreed that the applicants would provide a financial contribution towards these works instead, so this money could be spent the appropriate time. Consequently, a Section 106 obligation is necessary to ensure that this contribution is made.

#### 5.12 *Public transport*

Bus stops are currently provided on Charlton Road to the south of the site. It is considered that they are located within easy walking distance of the site. An adjacent planning permission for land to the west of Charlton Common is contributing to the up-grading of these stops and providing new shelters with Real time information (RTI) on both sides of the road. The development of the CPNN is will also mean that the through route to The Mall via Charlton Road will eventually be available to buses travelling on these routes. They can also call at the enhanced stops on Charlton Road.

#### 5.13 *Transport Conclusions*

In order to ensure safe access to the site by all modes of travel in accordance with Core Strategy Policies CS1, CS6 and CS8 and Policy PSP16 of the PSP, the applicants have agreed to S 106 obligation to secure the item set out above. This contributions is considered to be directly related to the development, necessary and fairly and reasonably related in scale and kind, in accordance with the 3 tests within the CIL Regulation 122.

#### 5.14 Sustainable Energy and Climate Change

As the application is in Outline form there will be a requirement for a full Sustainable Energy Statement being provided at the Reserved Matters Stage. The Reserved Matters application will need to meet local planning policies and Building Regulations applicable at the time.

A condition will therefore be required to ensure that the development is be constructed in accordance with the development plan policies, and Building Regulations applicable at the time of construction/the reserved matters stage. This is in order to ensure that the development contributes to mitigating and adapting to climate change and to meeting targets to reduce carbon dioxide emissions.

Officers have noted that in July 2019 South Gloucestershire Council declared a climate emergency and pledged 'to provide the leadership to enable South Gloucestershire to become carbon neutral by 2030'. In the light of this the Sustainable Energy Statement will be need to meet the Development Plan policies of the time to achieve the required reduction in regulated and unregulated emissions, together with renewable heat and power to ensure that new dwellings are designed with a route to achieving zero carbon emissions.

The scheme should be designed to be resilient to projected changes in the climate during the lifetime of the development (60 years) including higher peak and average summer temperatures, this includes the use of green infrastructure (such as existing trees) to provide summer shade/cooling and reduce excess solar gain. The revised scheme includes more retained trees and vegetation than originally submitted. Also as it is partly a brownfield site, the new landscaping will contribute to this.

Subject therefore to the condition noted above, the proposal complies with Policies CS1 and PSP6.

#### 5.15 Archaeology

The submitted archaeology document demonstrates that the archaeological trial trenching that took place on this site was largely negative with the few features identified as relating to agricultural practice. However, there was a fairly large part of the site that was not explored as it is overgrown. The Council's archaeologist has confirmed that as this crosses part of Charlton settlement, a former Medieval village, there needs to be some archaeological work in this area. As it is likely to have truncated by the airfield to the north, this can be dealt with by way of monitoring and recording during construction.

As such, a condition is necessary requiring that prior to the commencement of development a programme of archaeological investigation and recording for the site shall be submitted to and approved by the Local Planning Authority and thereafter, the approved programme shall be implemented. Subject to this, the proposal is in compliance with Policy CS9 of the adopted South Gloucestershire Local Plan: Core Strategy.

### 5.16 Residential amenity

With regard to existing residents, the closest dwelling to the site is Cedar Lodge which is some 4.5m from the western boundary. Provided the reserved matters take this into consideration, there is no reason why the layout could not be arranged to ensure that there were no issues of overbearing effect or loss of privacy to these existing residents.

In addition the recently constructed row of dwellings south of this are some 16m from this boundary, which is formed by a 2.0m high close boarded fence. Similarly, Reserved Matters will need to take these dwellings into account. With regard to the amenity of future residents on the site itself, this will be dealt with at Reserved Matters stage to ensure that there are no significant issues of privacy or overbearing effect for future residents, and sufficient that amenity space is provided in accordance with Development Plan policy.

### 5.17 Public Open Space

Policy CS24 states provision for green infrastructure, outdoor space, sport and recreation facilities will be sought for all new developments, to the appropriate local standards of provision in terms of quantity, quality and accessibility.

The proposed bus link road, including cycle and footpaths approved as part of the former Filton Airfield site will join Charlton Road and therefore, in time, residents at this development would have reasonable access to the facilities located within this larger site. In the meantime however, it is still necessary for the application site to provide for range of open spaces.

Using current average occupancy data and the proposed number of dwellings, the proposed development of 29 dwellings would generate an estimated total population increase of 69.6 residents.

An audit of existing provision has demonstrated an adequate supply of Informal Recreational Open Space and Natural and Semi-natural Open Space. There is a shortfall of Outdoor Sports Facilities and no existing pitches within reasonable access standards. There is also a shortfall of Allotments. The nearest allotment provision is outside South Gloucestershire Council boundary at Charlton Rd, Bristol but this has an existing waiting list. There is no provision for Children and Young People within reasonable access standards.

Since the application was originally submitted, the parameter plans have been revised to provide for 174 sqm of equipped play space on the site, which accords with the Council's minimum standards as set out in Policy CS24 of the Core Strategy.

In addition, the applicant has agreed to enter into a Section 106 Agreement in order to provide a contribution towards off site outdoor sport provision or enhancement and its maintenance, as well as a contribution towards off site allotment provision or enhancement and maintenance. This off site provision for these types of POS is considered acceptable given the limited size of the site. IN terms of outdoor sport, the contribution will be included to the overarching S.106 Framework Agreement for Cribbs new neighbourhood which is within

walking distance of the site. The contributions are considered to be directly related to the development, necessary and fairly and reasonably related in scale and kind, in accordance with the 3 tests within the CIL Regulation 122.

In the event that the applicant intends the public open space within the site to be maintained by a private landscape management entity rather than the Council, the Council can retain a sufficient level of control over the landscape management entity through the s106 agreement.

Given the above, it is considered that the proposed open space provision meets the policy requirements, with the pay area on site, and a contribution towards off-site for outdoor sports and allotments, and as such the proposals accord with Policies CS24 and CS25 of the adopted Core Strategy subject to a Section 106 obligation as set out in the Heads of Terms at the end of this report.

#### 5.18 Affordable Housing

The proposal includes 35% affordable housing in line with National Planning Policy Guidance and other requirements under Policy CS18 of the Council's adopted Core Strategy Development Plan Document. The applicant has agreed to a Section 106 Agreement provide for this, in accordance with the detailed requirements as set out in the heads of terms at the end of this report.

In addition, a condition is required to ensure that the affordable Dwellings are constructed to meet Part M of the Building Regulations accessibility standard M4(2) with the exception of those affordable dwellings required to meet M4(3)(2)(a) standard and any self-contained affordable housing provided above ground floor level in a flatted development without a lift. Further that the wheelchair dwellings shall be constructed to meet Part M of the Building Regulations accessibility standard M4(3)(2)(a) and shall be provided as social rent tenure.

Subject to a S106 incorporating the Heads of Terms set out at the end of this report, and the Part M condition noted above, the proposal is acceptable in terms of affordable housing.

#### 5.19 Contamination

A ground investigation report relevant to the potential for contamination was submitted with the application. It has been considered by the Council's EHO contamination officer who states that it comprises a comprehensive desk study and ground investigation, in line with current best practice and guidance. Potentially unacceptable contamination was identified in relation to made ground in the north of the site; contaminants in gravelly material forming the hard standing to the caravan storage area; and defined areas of asbestos containing materials.

Remediation is proposed by way of removal/site clearance of made ground and areas of asbestos containing materials. The gravelly hard standing is identified as possibly suitable for re-use on site under buildings and roads.

The conclusions and recommendations of the report are in the main accepted by the EHO officer. Re-use of any materials on site should be undertaken in accordance the CL:AIRE Definition of Waste Code of Practice.

In order to ensure that the site is suitable for its proposed use and in accordance with The National Planning Policy Framework, conditions are required to ensure that verification of remediation is signed off by the Council, and any additional contamination found during the course of construction is reported to the Council and dealt with appropriately. Subject to these conditions, the proposal is considered to comply with Policy PSP21.

#### 5.20 Drainage

The application is accompanied by a Flood Risk Assessment and Drainage Strategy which sets out the proposed surface water drainage strategy for the development. This will be achieved by restricting flows using a flow control device and by providing underground attenuation storage. There is no objection to the proposal from the LLFA, subject to a condition requiring Reserved Matters to include surface water drainage details.

#### 5.21 SGC Public Art

The Council's Public Art Officer has requested a planning condition for a public art programme that is relevant and specific to the development and its locality and given the location of this site in the context of the wider Cribbs Patchway New Neighbourhood, a scheme would be desirable and appropriate to link to the wider development.

The Public Art Officer does however note that the proposal for up to 29 dwellings falls one house below the size of development we would normally request a public art scheme for. The Planning Officer has considered this request in terms of Policy CS1- High Quality Design point 7 which states that where the scale, location and/or significance of the new development proposals warrants it, embedded public art within the public realm or in a location where it can be viewed from public areas should be provided. It is considered that in this case the condition requested does not fully meet the required condition tests, and due to the relatively small scale of the development, which being enclosed will not be particularly visible to the public, could not be viewed as development of scale or significance, it is not proposed to include a public art condition.

#### 5.22 Other consultee comments

As noted in the consultation section of this report, the adjoining resident raised a concern that the red line application site boundary was incorrect. Following this, revised plans were submitted showing a revised red line position along this western boundary. The local resident was reconsulted, but no further comments received.

It is noted that Avon Fire and Rescue have requested a contribution towards a fire hydrant for the site. It is noted that in the report that went to Committee for the Airfield it was reported that this matter was addressed strategically through consideration of the Framework Agreement.



5.23

CIL Issues

The South Gloucestershire Community Infrastructure Levy (CIL) & Section 106 Planning Obligations Guide SPD was adopted March 2015. CIL charging commenced on 1st August 2015 and this development, if approved, would be liable to CIL charging.

5.24 Consideration of likely impact on Equalities

The Equality Act 2010 legally protects people from discrimination in the workplace and in wider society; it sets out the different ways in which it is unlawful to treat someone. As a result of this Act the public sector equality duty came into force. Among other things those subject to the equality duty must have due regard to: eliminate unlawful discrimination, harassment and victimisation; advance equality of opportunity and foster good relations between people who share a protected characteristic and those who do not. The general equality duty therefore requires organisations to consider how they could positively contribute to the advancement of equality and good relations. It requires equality considerations to be reflected into the design of policies and the delivery of services.

With regards to the above this planning application it is considered to have a neutral impact on equality.

**6. CONCLUSION**

- 6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.
- 6.2 The recommendation to grant permission has been taken having regard to the policies and proposals in the South Gloucestershire Development Plan as set out above, and to all the relevant material considerations set out in the report.

**7. RECOMMENDATION**

- 7.1 That authority be delegated to the Director of Environment and Community Services to grant permission, subject to the conditions set out below and the applicant first voluntarily entering into an agreement under section 106 of the Town and Country Planning Act 1990 (as amended) to secure the following:

**1. POS:**

- Prior to occupation of the 1<sup>st</sup> dwelling, the applicant shall secure the management and maintenance of the Public Open Space (POS) and Sustainable Drainage System (SuDS) in perpetuity, to adoptable standards, and in accordance with an appropriate management regime to be first approved in writing by the Council. The developer shall open the POS to the public and maintain the POS and SUDs in accordance with the maintenance regime until such time as the whole of the POS

and SUDs areas are either transferred to the Council or transferred to a management entity, the details of which shall be first approved by the Council.

- The applicant shall provide 174 sqm of equipped open space provision on site for children and young people. Trigger for completion and opening– 10th dwelling.
- The applicant shall make a contribution of £60,991.98 towards off site provision/enhancement of outdoor sports facilities as defined in the overarching POS Strategy for CPNN, together with a contribution of £18,460.26 towards its future maintenance. Trigger – 10<sup>th</sup> dwelling
- The applicant shall make a contribution of £1,398.08 towards off site allotments, together with £1,782.66 towards their maintenance.

## 2. **Affordable Housing**

- 35% Affordable Housing with a tenure split of 76% Social Rent and 24% Shared Ownership of which 8% will be provided as Wheelchair accommodation:

### *Quantum*

- 35% Affordable Homes to be provided on site without public subsidy.
- To be provided on-site and distributed throughout the development in clusters of no more than 6 units.

### *Tenure and Type*

- 76% Social Rent (i.e. 8 social rent homes)
- 24% Shared Ownership (i.e. 2 social rent homes)

### *Design*

- Affordable Homes to be built to the same high quality design standards and visually indistinguishable from the market units; and comply with Secured by Design Silver, Part Q Building Regulation standards and compliance with the RP Design Brief;
- No more than 6 Affordable Homes should share an entrance and communal area. Registered Providers would generally expect flats within a single block to be of the same tenure.

### *Wheelchair Provision*

- 8% of Affordable Homes to meet Part M of the Building Regulations accessibility standards M4(3)(2)(a). This will be controlled by way of a planning condition. (Based on a scheme with a requirement for 10 affordable homes there would be a requirement for 1 wheelchair property).

### *Delivery and Phasing*

- The Council to refer potential occupants to all first lettings and 75% of subsequent lettings.
- Delivery is preferred through the Council's list of Approved Registered Providers. In the event of the developer choosing a Registered Provider from outside the partnership then the same development and management standards will need to be adhered to.
- Affordable Homes to be built out with the market housing on site in line with agreed triggers within the S.106 Agreement.

### *Rent Levels and Affordability*

- Social Rent homes to be let at Target Rent (Rent Standard Direction 2014).
- Shared Ownership homes to be sold at no more than 40% of market value, and annual rent on the equity retained by the RP should be no more than 1.5%.
- Service charges will be capped at £650 per annum (April 2016 base and linked to RPI) to ensure that all housing costs are affordable to future occupants.
- Capital receipts on intermediate housing to be recycled as capital expenditure on approved affordable housing schemes in South Gloucestershire, with subsidy levels to increase by any capital appreciation.

### 3. Transport

A contribution of £20,000 towards the construction of a 3.0m shared foot/cycleway to connect the site to the crossing point adjacent to the access of the Kennels Cedar Lodge site to the south when the existing bus turning circle becomes redundant, (the timing of which will be subject to the opening of the bus only route into the Airfield).

7.2 The reason for the above obligations is to ensure that the enhancements needed to off-set the impact of the redevelopment are secured both to the natural and built environment, and to provide a suit of measures to mitigate the impacts of the development on the existing community and to ensure the future community is sustainable.

7.3 That the Head of Legal and Democratic Services be authorised to prepare and seal the agreement.

7.4 Following the Council introducing the CIL tariff that Head of Corporate Finance is authorised to levy the CIL charge.

7.5 Should the agreement not be completed within 2 months of the date of this Circulated Schedule report that delegated authority be given to the Director of Planning, Transport and Strategic Environment to refuse the application if an extension of time to complete the agreement is not sought.

## **Background Papers      P19/15643/O**

### **CONDITIONS**

1. Details of the layout, scale and appearance of the buildings to be erected, and the landscaping of the site (hereinafter called "the reserved matters") shall be submitted to and approved in writing by the Local Planning Authority before development on land to which the reserved matters relate commences. Development thereafter shall be carried out in accordance with the approved details.

Reason: To comply with the provisions of Section 92 of the Town and Country Planning Act 1990 (as amended).

2. Applications for the approval of the reserved matters shall be made to the Local Planning Authority before the expiration of 3 years from the date of this permission.

Reason: To comply with the requirements of Section 91 of the Town & Country Planning Act 1990 (as amended).

3. The development hereby permitted shall be begun either before the expiration of 3 years from the date of this permission, or before the expiry of two years from the date of approval of the last of the reserved matters to be approved, whichever is the later.

Reason: To comply with the requirements of Section 91 of the Town & Country Planning Act 1990 (as amended).

4. Applications for the approval of the reserved matters shall be in accordance with the Parameter Plans-Access and Land Use (Rev P5) and Scale Parameter plan, (Rev P5), and the principles and parameters set out in the Design and Access Statement (November 2020) hereby approved.

Reason: To ensure the highest standards of urban design and in accordance with policies CS1 and CS26 of the adopted South Gloucestershire Local Plan: Core Strategy, and the adopted Cribbs/Patchway Development Framework SPD.

5. Reserved matters submitted pursuant to Condition 1 above shall include the detailed design of the surface water drainage strategy; including SUDS (Sustainable Drainage Systems e.g. soakaways if ground conditions are satisfactory), for flood prevention; pollution control and environmental protection.

Reason: To comply with South Gloucestershire Local Plan: Policies, Sites and Plans Plan (Adopted) November 2017 Policy PSP20; South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 Policy CS1 and Policy CS9; and National Planning Policy Framework 2019.

6. The Affordable Dwellings shall be constructed to meet Part M of the Building Regulations accessibility standard M4(2) with the exception of those Affordable Dwellings required to meet M4(3)(2)(a) standard and any self-contained affordable Housing provided above ground floor level in a flatted development without a lift. The Wheelchair Affordable Dwellings shall be constructed to meet Part M of the Building Regulations accessibility standard M4(3)(2)(a) and shall be provided as social rent tenure.

Reason: To ensure inclusive design access for all in accordance with Policy PSP37 of the adopted South Gloucestershire Local Plan: Policies, Sites and Places Plan.

7. The Reserved Matters to be submitted pursuant to Condition 1 shall include a Sustainable Energy Statement that demonstrates how the development hereby approved will meet SGC Development Plan Policies and Building Regulations applicable at that time. The development shall be constructed in accordance with the development plan policies, and Building Regulations applicable at the time of construction.

Reason: To ensure that the development contributes to mitigating and adapting to climate change and to meeting targets to reduce carbon dioxide emissions, and to comply with Policy CS1 of the adopted South Gloucestershire Local Plan: Core

Strategy and Policy PSP6 of the adopted South Gloucestershire Local Plan: Policies, Sites and Places Plan.

8. The reserved matters submitted pursuant to Condition 1 shall include tree protection details and Arboricultural Method Statement which shall accord with BS5837 (2012); and prior to the commencement of the development hereby approved, protective fencing in accordance with drawings approved by Reserved Matters shall be erected around the root protection area of existing trees and hedgerows to be retained adjacent and within the site. Such fencing shall be erected prior to the use of any machines on the site and prior to any clearance on site, and retained as such throughout the construction period and until the completion of the development hereby approved. All development shall be carried out only in accordance with the Arboricultural constraints report D14 398 02 Rev A July 2019 by JP Associates, and thereafter, the trees and hedges shall be retained.

Reason: To ensure the works are carried out in an appropriate manner and in the interests of the health and visual amenity of the trees, and to avoid any damage to existing trees to be retained and ensure the existing trees and hedgerows are protected during the works, in accordance with best arboricultural practice, and to accord with Policies CS1 and CS26 of the adopted South Gloucestershire Local Plan: Core Strategy. Pre- commencement is required in order to protect the trees prior to any works on site.

9. Verification Strategy - having regard to BAE Systems Environmental, Ground Investigation, Land at Charlton Common, Ref X0453-R3-2 dated June 2016, prior to first occupation, a report providing details of the verification of remediation demonstrating that all necessary remediation works have been completed satisfactorily and that re-use of any materials on site will be undertaken in accordance the CL:AIRE Definition of Waste Code of Practice shall be submitted to and agreed in writing by the Local Planning Authority.

Reason: In the interest of public safety as a potential result of land contamination and to accord with policies CS9 and CS26 of the adopted South Gloucestershire Local Plan: Core Strategy (December 2013).

10. Any contamination found during the course of construction of the development that was not previously identified shall be reported immediately to the local planning authority. Development on the part of the site affected shall be suspended and a risk assessment carried out and submitted to and approved in writing by the local planning authority. Where unacceptable risks are found additional remediation and verification schemes shall be submitted to and approved in writing by the local planning authority. These approved schemes shall be carried out before the development is resumed or continued.

Reason: In the interest of public safety as a potential result of land contamination and to accord with policies CS9 and CS26 of the adopted South Gloucestershire Local Plan: Core Strategy (December 2013).

11. Prior to the occupation of the first dwelling, a travel plan with the aim of providing residents with information regarding reducing the need to travel by car, encouraging healthy commuting and work/non work related journeys shall be submitted to the LPA

for their written approval. Such details as approved shall be implemented in phase with the development.

Reason: In the interests of sustainable development and in accordance with Policy CS26 of the South Gloucestershire Local Plan: Core Strategy, (adopted Dec 2013).

12. The reserved matters to be submitted pursuant to Condition 1 above shall include measures to demonstrate that the development is in accordance with the recommendations made in Section 5 of the Ecological Assessment by Ecology Solutions (September, 2019). This refers to the need for a sympathetic lighting scheme for bats, avoiding disturbance/ harm to nesting birds and badgers, habitat creation/enhancement (a pond, wildflower grassland, hedgerows and new trees) to mitigate habitat losses and to increase foraging opportunities for birds and bats and providing new roosting opportunities for bats.

Reason: To protect the wildlife and the ecological interests of the site, in accordance with Policy CS9 of the adopted South Gloucestershire Local Plan: Core Strategy, and Policy PSP19 of the adopted Policies Sites and Places Plan.

13. No development shall take place until there has been submitted and approved in writing by the Local Planning Authority measures in respect of: a re-survey for badgers and a report provided to the Council to include details of any works subject to the licensing provisions of the Protection of Badgers Act 1992. All works shall be carried out in accordance with said report.

Reason: To protect the wildlife and the ecological interests of the site, in accordance with Policy CS9 of the adopted South Gloucestershire Local Plan: Core Strategy, and Policy PSP19 of the adopted Policies Sites and Places Plan. Pre- commencement is required in order to ensure protection during the construction period.

14. The Reserved Matters submitted pursuant to Condition 1 above shall include a plan showing the location of nesting boxes, for starlings and house sparrows and bat tubes or boxes. Thereafter the development shall proceed in accordance with such details as approved through Reserved Matters, and photographic evidence of their installation shall be submitted to the local planning authority for approval in writing prior to the substantial completion of the development hereby approved.

Reason: To protect the wildlife and the ecological interests of the site, in accordance with Policy CS9 of the adopted South Gloucestershire Local Plan: Core Strategy, and Policy PSP19 of the adopted Policies Sites and Places Plan.

15. The reserved matters submitted pursuant to Condition 1 above shall include street lighting that is to the Council's adoptable standards and is also a sympathetic lighting scheme for bats using boundary vegetation. The scheme should show how and where external lighting will be installed (through the provision of appropriate lighting contour plans and technical specifications). All external lighting shall be installed prior to the substantial completion of the development hereby approved in accordance with the said lighting scheme as approved by the local Planning Authority in writing.

Reason: To protect the wildlife and the ecological interests of the site, in accordance with Policy CS9 of the adopted South Gloucestershire Local Plan: Core Strategy, and Policy PSP19 of the adopted Policies Sites and Places Plan.

16. Prior to development commencing, a Landscape & Ecological Management Plan (LEMP) shall be submitted to and approved in writing by the local Planning Authority to concord with the recommendations contained in 5 of the Ecological Assessment by Ecology Solutions (September, 2019) and the agreed Access and Land Use Parameter Plan forming part of the application. All works are to be carried out in accordance with said approved plan.

Reason: To protect the wildlife and the ecological interests of the site, in accordance with Policy CS9 of the adopted South Gloucestershire Local Plan: Core Strategy, and Policy PSP19 of the adopted Policies Sites and Places Plan. Pre- commencement is required in order to ensure protection during the construction period.

17. The Reserved Matters to be submitted pursuant to Condition 1 above shall include a mitigation strategy to avoid harm to reptiles (slowworm) and hedgehog and agreed with the Local Planning Authority through Reserved Matters. All works are to be carried out in accordance with said strategy.

Reason: To protect the wildlife and the ecological interests of the site, in accordance with Policy CS9 of the adopted South Gloucestershire Local Plan: Core Strategy, and Policy PSP19 of the adopted Policies Sites and Places Plan.

18. The Landscaping Reserved Matters submitted pursuant to Condition 1 above shall include full details of both hard and soft landscaping works and these works shall be carried out as approved. Such details shall accord with the principles of the approved Parameter Plans and the principles and concepts contained in the approved Design and Access

Statement. These details shall include: proposed finished levels or contours in relation to existing levels; means of enclosure; car parking layouts; other vehicle and pedestrian access and circulation areas; hard surfacing materials; minor artefacts and structures including details of play equipment, refuse or other storage units, signs, lighting); proposed and existing functional services above and below ground (e.g. drainage power, communications cables, pipelines, manholes).

Soft landscape works shall include: a vegetation retention and removal plan, planting plans; written specifications (including cultivation and other operations associated with plant and grass establishment); schedules of plants, noting species, plant sizes and proposed numbers/densities where appropriate; and an implementation programme. Detailed planting plans shall detail size, type and specification, mixes and quantities of all proposed planting. Where appropriate, boundary and surfacing treatments; construction details of all SUDS elements and maintenance proposals shall be submitted and approved.

Reason: To protect and enhance the character and appearance of the area and the amenities of future occupiers in accordance with policies CS1 and CS26 of the adopted South Gloucestershire Local Plan: Core Strategy.

19. 1The landscaping details submitted pursuant to Condition 18 shall include new areas of species-rich wildflower grassland along the highway verge outside the site on Charlton Road.

Reason: In order to help offset the loss of the site's semi- improves meadow, and in accordance with Policy CS9 of the adopted South Gloucestershire Local Plan: Core Strategy, and Policy PSP19 of the adopted Policies Sites and Places Plan.

20. Prior to the commencement of development a programme of archaeological investigation and recording for the site shall be submitted to and approved by the Local Planning Authority. Thereafter, the approved programme shall be implemented in all respects, unless the Local Planning Authority agrees in writing to any variation.

Reason: In the interest of archaeological investigation or recording, and to accord with Policy CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013, Policy PSP17 of adopted Policies Sites and Places Plan, and the National Planning Policy Framework. Pre- commencement is required in order to ensure archaeological investigation is not harmed during the construction period.

21. The particulars submitted as part of condition 1 for the relevant reserved matters shall include details of refuse collection vehicle swept path tracking within the site appropriate for the SGC refuse vehicle standard dimensions.

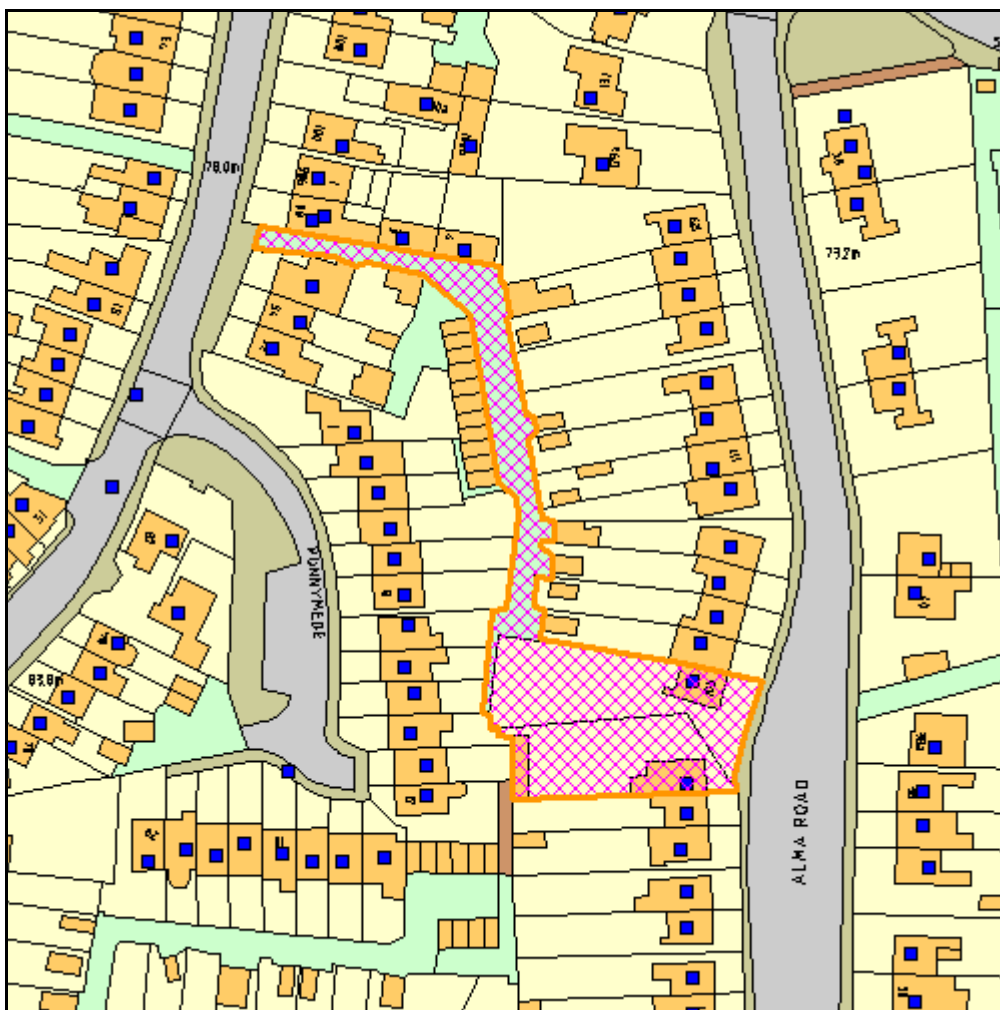
Reason: To ensure access to refuse storage in accordance with Policy CS26 of the adopted Core Strategy, and in accordance with Policy PSP16 of the adopted SGC Policies Sites and Places Plan.

**Case Officer: Helen Ainsley**  
**Authorising Officer: Catherine Loveday**



## CIRCULATED SCHEDULE NO. 26/21 -2nd July 2021

<b>App No.:</b>	P20/09157/F	<b>Applicant:</b>	Mr Fudgell
<b>Site:</b>	Land At 103 And 105 Alma Road Kingswood South Gloucestershire BS15 4EG	<b>Date Reg:</b>	17th June 2020
<b>Proposal:</b>	Erection of three storey side and single storey side and rear extensions. Installation of rear dormers to existing building to facilitate the formation of 4 no. flats (Class C3). Works to include creation of new vehicular access, parking areas and other associated works. (Resubmission of P19/18648/F).	<b>Parish:</b>	
<b>Map Ref:</b>	365364 174174	<b>Ward:</b>	Kingswood
<b>Application Category:</b>	Minor	<b>Target Date:</b>	11th August 2020



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 100023410, 2008. N.T.S. P20/09157/F

South Gloucestershire Councillors have five working days from date of publication to consider whether items appearing on the Circulated Schedule should be referred to the Development Management or Strategic Sites Delivery Committees for determination.

## **REASON FOR REPORTING TO THE CIRCULATED SCHEDULE**

The application appears on the Circulated Schedule because in excess of 3no. representations have been received that are contrary to the findings of this report.

The application is placed on Circulated Schedule on the final day of public re-consultation. If any further issues are raised that have not previously been raised, the application may need to be re-circulated.

### **1. THE PROPOSAL**

- 1.1 Full planning permission is sought for the erection of a three-storey side extension, installation of rear dormers and erection of a single storey rear extension to facilitate the formation of 4no flats (Class C3), with associated works to include creation of access and parking.
- 1.2 The application site is land that sits between and behind numbers 103 and 105 Alma Road and forms part of their respective curtilages. 103 and 105 Alma Road are both end of terrace bay fronted properties in Kingswood, which is within the East Fringe of Bristol Urban Area. The site is an area which is affected by past coal mining activities.
- 1.3 During the course of the application being considered, a protracted period of time has lapsed due to the requirements of further information from The Coal Authority which has been duly submitted. Furthermore, the red-line has changed following the receipt of the above further information, and a full 21-day public re-consultation has been carried out, with an increased scope (more neighbours consulted) because the site boundary now abuts more properties than it did when first consulted on.
- 1.4 A further 21-day re-consultation has been carried out, because the ownership certificate changed from certificate A to certificate D, prior to the report being placed on Circulated Schedule. This is because the access lane is not owned wholly by the owner of the application site.

### **2. POLICY CONTEXT**

- 2.1 National Guidance  
National Planning Policy Framework February 2019  
National Planning Practice Guidance

- 2.2 Development Plans

South Gloucestershire Local Plan Core Strategy Adopted December 2013

CS1	High Quality Design
CS4A	Presumption in Favour of Sustainable Development
CS5	Location of Development

CS8	Improving Accessibility
CS9	Managing the Environment and Heritage
CS15	Distribution of Housing
CS16	Housing Density
CS17	Housing Diversity
CS29	Communities of the East Fringe of Bristol

South Gloucestershire Local Plan Policies Sites and Places Plan Adopted November 2017

PSP1	Local Distinctiveness
PSP8	Residential Amenity
PSP11	Transport Impact Management
PSP16	Parking Standards
PSP20	Flood Risk, Surface Water, and Watercourse Management
PSP21	Environmental Pollution and Impacts
PSP22	Unstable Land
PSP38	Development within Existing Residential Curtilages
PSP39	Residential Conversions, Subdivision, and HMOs
PSP42	Custom Build Dwellings
PSP43	Private Amenity Space Standards

- 2.3 Supplementary Planning Guidance  
 Design Checklist SPD (Adopted) August 2007  
 Householder Design Guide SPD (Adopted) March 2021  
 Residential Parking Standard SPD (Adopted) December 2013  
 CIL and S106 SPD (Adopted) March 2015  
 Waste Collection SPD (Adopted) January 2015 (updated March 2017)

### **3. RELEVANT PLANNING HISTORY**

- 3.1 P19/18649/F (withdrawn 08/04/2020):  
 Erection of a single storey rear extension and installation of 1no rear dormer to existing property to facilitate conversion to 2no flats. Erection of 2no dwellings with access and associated works.

### **4. CONSULTATION RESPONSES**

- 4.1 Parish Council  
 The area is unparished.

- 4.2 DC Transport

*Initial response:*

Further information and amendments required.

*Updated response:*

No objection, subject to conditions.

- 4.3 Highway Structures

No comment

4.4 Drainage (LLFA)

No objection subject to SuDS condition and informative.

4.5 Coal Authority

*Initial response:*

Objection – further information required.

*Updated response:*

Objection maintained – further information still required.

*Final response:*

Objection withdrawn; condition recommended.

4.6 Environmental Protection

*Initial response*

No objection subject to contamination condition.  
No noise objection.

*Updated response*

No objection; condition updated in light of further information received.

4.7 Housing Enabling

No objection

4.8 Local Residents

First consultation

4no. objection comments were received, summarised as follows:

- Access lane unsuitable
- Access lane in poor condition
- Access lane privately owned
- Access safety concerns
- Pedestrian safety concerns
- Construction traffic access concerns
- Increased noise and air pollution due to increased usage of the lane
- Lane has not been professionally maintained since it was first laid in 1967
- Presume old covenants no longer applicable
- Does the Council know who owns the lane?

- Surface water queried
- Concern regarding drainage
- Plans do not highlight drainage or demonstrate turning
- Is it the intention to run services through the access lane?
- How will materials be delivered to the site?
- Plans do not show shared public footpath and right of way for back gardens
- Not enough parking

### Second consultation

A further 1no. general comment and 10no. objection comments have been received. These are summarised as follows:

#### *General comment:*

- Where would the access be? Lane is unfit for purpose. Would it become a public highway?

#### *Objection comment(s):*

Many of the further objection comments re-iterated issues raised above. Further matters raised are as follows (summarised):

- Appalled only just learnt of this application
- Visual impacts; do not want to see a carpark at back of home
- Crime; garages regularly broken in to
- Wildlife/environmental impact
- Will be subject to constant coming and going of cars
- Impact on outlook
- Height of the buildings
- Access to private lane from 103 is not currently available – significant change
- Are there plans to repair the lane?
- How are large site vehicles going to get access?
- 103 has never had access to the lane
- Does 103 have permission to use the lane?
- Who is the additional parking space intended for?
- Drains in back lane no suitable for further usage
- Proposal could result in collisions
- Out of character with the area
- Why have I only recently learnt of this application?
- No need for 105 to use the lane
- No action was taken when previous contractors damaged the lane
- Would like details of minimum requirements for repair to lane

### Third consultation

A further 4no. objection comments have been received, which raised broadly the same concerns as before, however additional concern was raised with regards to the repair proposed to the lane.

## 5. ANALYSIS OF PROPOSAL

- 5.1 The proposal seeks to erect a three-storey side extension, install rear dormers and erect a single storey rear extension in order to facilitate the formation of 4no flats (Class C3), with associated works to include creation of access and parking.

### Principle of Development

- 5.2 The proposed development stands to be assessed against the above listed policies and all other material considerations. Policy CS5 directs new residential developments to within the urban fringes of Bristol and then on smaller scales to within designated settlement boundaries. As the site is within the East Fringe of Bristol Urban Area, new residential development is acceptable in principle on this site, on a purely locational basis.
- 5.3 As the site is within an existing residential curtilage, PSP38 is also relevant. PSP38 permits development within existing residential curtilages (including new dwellings) where they are acceptable in terms of design, do not prejudice the amenity of adjoining occupiers, provide a satisfactory level of parking and provide a satisfactory level of private amenity space. The recently adopted Householder Design Guide SPD also bears relevance to the proposal and contains additional guidance on household design. Because the proposal would have the effect of sub-dividing the property to create flats, PSP39 can also be considered relevant. PSP39 permits the subdivision of existing dwellings to smaller self-contained units provided they do not: harm the character and amenity of the area, do not harm the amenity of neighbours, provide adequate amenity space, and provide parking in accordance with SGC standards.
- 5.4 Policy CS1 is the Council's principal design policy. CS1 requires development to demonstrate the highest standards of design and site planning by demonstrating that siting, form, scale, height, massing, detailing colour and materials are informed by respect and enhance the character, distinctiveness, and amenity of both the site and its context.
- 5.5 As the site is within a defined urban area (the East Fringe of Bristol) and an existing residential curtilage, the proposed development to create 4no. flats is considered to be acceptable in principle, subject to the below detailed consideration. The key issues to consider are design, residential amenity, transportation, coal mining legacy, ground contamination and drainage.
- 5.6 Design, Visual Amenity and Layout  
Alma Road is made up at this point of mostly post-war housing which is set out in a mixture of semi-detached pairs, small terraces, and some detached properties. The prevailing roof form is hipped with double roman tiles. 105 is at the end of a terrace of 5, all double bay fronted. Whilst 103 is at the end of a terrace of 3, of which are single bay fronted. Windows are generally white UPVC, with render being the facing material of choice in this location.

- 5.7 What is proposed is perhaps less of an extension and for all intents and purposes, represents the erection of an end terrace unit, thus turning 105 into a mid-terrace property. The involvement of 103 in the scheme stems from the unusually aligned boundary, which appears to cut in to the curtilage of 105, though 103 would remain end-terrace. To the rear of the site would be a shared parking area, accessed from a rear unadopted access that leads on to Church Road.
- 5.8 There is sufficient space between 103 and 105 to accommodate the additional unit without appearing cramped or 'wedged in' (as was an issue with the withdrawn plans). The remaining space between 103 and the new unit would not be uncharacteristic of the area and would leave a sufficient gap to maintain the clear separation of the two terraces. The rear projections would appear as relatively standard rear single storey extensions which would have depths of 4 metres, which is in accordance with the guidance contained in the household design SPD.
- 5.9 Initially, a gable ended roof was proposed, however this was judged to be out of character with the area. Instead, a cropped hip is proposed. Whilst not a full hip, this would give sufficient 'nod' to the prevailing roof form so as to not appear unacceptably out of keeping, or incongruous within the locality.
- 5.10 The proposal includes 2no. rear dormers, to facilitate the 2nd bedroom for each upper floor flat. Initially, one large dormer was proposed, however this has been altered and split in to two, and reduced in size, following officer comments. It is acknowledged that box dormers are generally not considered good design, and the recently adopted householder design SPD has something of a presumption against them. However, this document also submits that where justified, they must adhere to certain design principles. These are; be aligned and in proportion with the host building in terms of fenestration arrangements, be sited 300mm below the main ridge, be 300mm from the verges, be site 500mm above the eaves and be set back from the principle elevation.
- 5.11 The two dormers broadly meet these design requirements, following amendments. In this case, without the dormers, the provision of the additional bedrooms to the two upper floor flats would not be possible. This is addressed in the overall planning balance, however for clarity here, is considered sufficient to justify the use of such dormers. To further mitigate their impact, they will be located on the rear roof slope and will be for the most part, not visible from the public realm.
- 5.12 Having regard to the above consideration, officers consider the proposed development to be acceptable in terms of design. Should permission be granted, an appropriately worded condition should be applied to require facing materials to match in the interest of ensuring a satisfactory standard of external appearance.
- 5.13 Residential Amenity

PSP8 permits development where it does not prejudice the residential amenity of both occupiers of the development and of neighbouring dwellings through the creation of unacceptable impacts. Such unacceptable impacts include loss of privacy, overlooking, loss of light, loss of outlook and overbearing/dominant impacts.

*Neighbouring occupiers*

5.14 The siting of the proposed development is such that there would not, in officers view, be any material overbearing or overshadowing concerns. This is because the bulk of the development would be between 105 and 103, within the established building lines. The rear projection at 4 metres (single storey) is not considered deep enough to present any residential amenity concerns, particularly with respect to no.107, when considering the existing rear lean-to structure on this property and the depth proposed being within the 5 metre allowance as set out in the householder design SPD.

5.15 In terms of privacy, the distance between the rear first floor and dormer windows above would be between 25 and 30 metres away from the rear boundary of the site, with the distance to the backs of the properties on Runnymede closer to 40 metres. When considering these distances and the high degree of mutual overlooking in the area, officers do not consider there to be any material overlooking issues, should permission be granted. Although the proposal would alter the view enjoyed by the properties on Runnymede, private views are not a material planning consideration. The above noted separation distances are however more than adequate to render the considered impact on outlook as acceptable.

5.16 Though some increase in noise would be expected as a result of additional vehicle movements, this would not be considered as being to an unacceptable degree. During the construction phase there would however be likely to more noise produced and given the residential nature of the area, a condition restricting working hours would be considered reasonable and necessary, on this occasion.

*Occupiers of the development*

5.17 The 4no. flats are all broadly in alignment with the Nationally Described Space Standards (NDSS) for their respective sizes. The internal arrangements are such that all primary living accommodation would benefit from an acceptable levels of light and outlook.

5.18 Turning to private amenity space, there would be a large area of garden afforded to both ground floor flats, well in excess of the PSP43 requirement for a 1 bed flat(s) of 5sqm. What is less clear is whether the 2no. second floor flats would have access to the amenity space. Often, a ground floor flat in a subdivided property has access to the garden (hence the term 'garden flat') but the upper floor flat may not. This being the case, officers would consider that given the nature of the accommodation, a lack of dedicated private amenity space would not be unacceptable when considering that a flat such as this would be less likely to be occupied a family with children, for example. Furthermore, there is good quality public open space (Southey Park) nearby, 0.4 miles away (an 8–10-minute walk on foot).



5.19 Transportation and Parking

- The key consideration on a site such as this is the access, and parking arrangements. Parking requirements are based on the number of bedrooms as set out in PSP16. Per PSP16, 1 bed flats require 1no. parking space each, and 2 bed flats require 1.5 spaces each (rounded down to the nearest whole number).
- 5.20 Therefore, a total of 4no. parking spaces would be required. The plans suggest 6no. parking spaces would be provided, which is in excess of the policy PSP16 requirements. A further 1no. space would be provided for 103, which currently does not benefit from parking. A further 2no. guest spaces would be available, which is beyond the policy requirement, which would be for 0 visitor parking in this instance (based on .2 of a space per dwelling). As such, the proposal is considered acceptable in terms of overall parking provision.
- 5.21 Officers note a number of comments and concerns regarding the access lane. This is an unmade, unadopted access, which leads on to Church Road, an unclassified highway. This access lane is of an uneven surface and does not benefit from lighting.
- 5.22 The pedestrian access to the site will be directly on to Alma Road to the front, which would negate the need for occupants to access the flats on foot via this route. As noted by the highways officer, the pedestrian access is therefore considered acceptable.
- 5.23 Officers acknowledge the condition of this access. Having visited the site, it is clear that it is not in a good state of repair. In that regard, the highways officer has requested that the access be included within the red-line, and improvements proposed. A scheme of repair has been agreed by the applicant and the highway authority, which would include surface damage being excavated to 100mm depth, which would then be filled in with a type 2 dust compaction. A stone scattered finish can be applied once this is done. Having reviewed this, the highway officer has indicated that they are satisfied with the proposed works, which would improve the access lane in conjunction with the increased use generated by the 4 flats (and space afforded to no.103). Subject to this being implemented prior to occupation (but post substantial completion), officers consider the arrangement to be acceptable, as reflected by the comments of the highways officer being that of 'no objection'.
- 5.24 Appropriately worded conditions should be applied, should permission be granted, to secure the provision of parking, electric vehicle charging points and said improvements.
- 5.25 Coal Mining Legacy and Contamination
- The NPPF submits that planning decisions should ensure that (inter alia) a site is suitable for its proposed use, taking account of ground conditions and any risks arising from land instability, which includes risks arising from former activities such as mining. Adequate site investigation information, prepared by a competent person, should be available to inform assessments. PSP22 of the local plan also sets out that development in areas affected by instability (such

- as mining) should provide adequate remedial, mitigation or treatment measures to ensure that the site is safe, stable, and suitable for the proposed use and will remain so.
- 5.26 The site is located within the defined development high risk area. Therefore, within the application site and surrounding area there are coal mining features and hazards which need to be considered in relation to the determination of the planning application. The Coal Authority (CA) submit that records indicate that that two recorded mine entries (shafts) are located within, or within 20 metres of the planning boundary. The CA has no details relating to their actual location or treatment. The site is also likely to have been subject to historic underground unrecorded coal mining at shallow depth.
- 5.27 The applicant has obtained appropriate and up-to-date geological and mining information, as well other information, which has been used to inform the Coal Mining Risk Assessment (9 December 2019, prepared by the commercial arm of the Coal Authority), which accompanies the planning application. Based on this review of existing information, the report confirms that shallow coal seams where insufficient rock overburden to alleviate the risk of potential subsidence require further investigation.
- 5.28 The supporting Coal Mining Risk Assessment acknowledges the presence of the recorded mine entries and proposes their investigation. However, the application does not indicate their precise location. Ultimately, the recommendation of the CA in light of the lack of further information objected to the proposal. Further intrusive investigation works were then carried out by an appropriately qualified person
- 5.29 The submitted Phase 1 Contaminated Land Desk Study, Mining Risk and Sage Report (Integrale Ltd, November 2020) and amended site layout omitting the garages to the rear of the site show that the works now fall outside the zones of influence for both shafts and that investigations/remediation for both shafts and potential shallow workings are proposed. As such, the CA withdrew their objection, however, recommend appropriately worded conditions to secure the further investigation works, as recommended by the Phase 1 report.
- 5.30 The Development is al located less than 250 metres from an historic landfill site, which poses further potential risks from ground gases. Accordingly, the Environmental Protection team have requested an appropriately worded set of conditions to secure an appropriate risk assessment to consider whether the proposed development is at risk from ground gases and if so, whether mitigation or protections measures are required. This is in order to ensure that the site is suitable for its proposed use, in accordance with The National Planning Policy Framework.
- 5.31 Further to the initial environmental protection comments, the above discussed report (Integrale Ltd, November 2020) was submitted, which enabled the conditions recommended by Environmental Protection to be amended. Nevertheless, appropriately worded conditions as recommended by Environmental Protection should be applied, in the event that permission is

granted, in order to ensure that the proposed development is adequately protected from ground gases.

### 5.32 Drainage

Officers note that drainage is queried and raised as a point of concern by residents. PSP20 requires development to (inter alia) reduce surface water runoff from the site, incorporate SuDS to reduce surface water runoff and minimise flood risk and ensure that surface water drainage proposals are designed to not increase off-site flood risk.

5.33 The Council's drainage engineers have been consulted as part of the proposed development, who have no objection to the proposal in principle. However, an appropriately worded drainage condition should be applied (should permission be granted) to secure details of foul and surface water disposal, including soakaways if ground conditions allow for flood prevention, pollution control and environmental protection.

### **Impact on Equalities**

5.34 The Equality Act 2010 legally protects people from discrimination in the workplace and in wider society; it sets out the different ways in which it is unlawful to treat someone. As a result of this Act the public sector equality duty came into force. Among other things those subject to the equality duty must have due regard to: eliminate unlawful discrimination, harassment and victimisation; advance equality of opportunity and foster good relations between people who share a protected characteristic and those who do not. The general equality duty therefore requires organisations to consider how they could positively contribute to the advancement of equality and good relations. It requires equality considerations to be reflected into the design of policies and the delivery of services.

5.35 With regards to the above this planning application is considered to have a neutral impact on equality.

### **Other Matters**

5.36 A number of matters raised from the consultation responses have not been addressed in the main body of this report. These will be considered below.

#### Civil issues

5.37 Existing covenants are civil matters and are not material planning considerations. Access to the lane is also a civil issue.

#### Consultation

5.38 Officers note concerns that some residents were not consulted. Initially, the red line site boundary was smaller, which in turn means less neighbours would have been consulted, because less properties shared a common boundary with the site. However, when the red-line was expanded to include the access lane, a number of additional properties were consulted as they now share common boundaries with the site.

### Planning Balance

- 5.39 The proposed development would have social economic benefit of the creation of 4no residential units which would contribute to the housing stock within the district. Whilst this benefit would be relatively minor given the low number of units, it nevertheless weights in favour of the proposal.
- 5.40 The design is on the whole considered to be acceptable. Whilst there is some concerns with the use of box dormers, these are designed in broad accordance with the requirements of the household design SPD, and would help facilitate the creation of 4no. residential units, of which it is worth nothing would be smaller 1 and two bed units. Whilst not designated as affordable housing, they would present an opportunity for single people and those looking for smaller, less expensive accommodation.
- 5.41 The proposal is found to be acceptable in terms of residential amenity and transportation, both of which attract neutral weight as this is required of all developments. Similarly, the proposal is considered acceptable in terms of coal mining legacy, ground contamination and drainage (subject to the discussed conditions). All these matters also attract a neutral weight.
- 5.42 Having regard to the above, there are not considered to be any material issues that would warrant refusal of planning permission, and the balance is such that on this occasion, permission should be granted.

## **6. CONCLUSION**

- 6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.
- 6.2 The recommendation to **grant** permission has been taken having regard to the policies and proposals in the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the South Gloucestershire Local Plan: Policies, Sites and Places Plan (Adopted) November 2017 set out above, and to all the relevant material considerations set out in the report.

## **7. RECOMMENDATION**

- 7.1 It is recommended that permission is **GRANTED** subject to the following conditions:

### **CONDITIONS**

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

To comply with the requirements of Section 91 of the Town & Country Planning Act 1990 (as amended).

2. Prior to the first occupation of the development hereby approved, the off street parking as indicated on the proposed site layout and gate elevation plans (received 11th January 2021) shall be provided and retained thereafter for their intended purpose.

Reason

In the interest of ensuring that the proposed development benefits from a satisfactory level of off street parking in accordance with PSP16 of the South Gloucestershire Local Plan: Policies Sites and Places Plan (Adopted) November 2017.

3. Prior to the first occupation of the development hereby approved, each flat shall be provided with 1no. electric vehicle charging point rated at 7kw/32amp (minimum) which shall be retained thereafter.

Reason

In the interest of encouraging sustainable travel options in accordance with CS8 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013.

4. Prior to first occupation but post substantial completion of the development hereby approved, the agreed improvements to the access lane as agreed by the local planning authority (indicated on the site location plan and proposed block plan, as received 8th June 2021) shall be implemented and completed as agreed, with any variation to be agreed in writing with the local planning authority.

Reason

In the interest of ensuring that the vehicular access is to a satisfactory standard and to prevent the need for future remedial works in accordance with PSP11 of the South Gloucestershire Local Plan: Policies Sites and Places Plan (Adopted) November 2017

5. No development shall commence until surface water and foul sewage drainage details including SUDS (Sustainable Drainage Systems e.g. soakaways if ground conditions are satisfactory), for flood prevention; pollution control and environmental protection have been submitted and approved by the Local Planning Authority

Full planning application - A detailed development layout showing surface water and SUDS proposals is required as part of this submission.

Reason

To comply with South Gloucestershire Local Plan: Policies, Sites and Plans Plan (Adopted) November 2017 Policy PSP20; South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 Policy CS1 and Policy CS9; and National Planning Policy Framework 2018.

6. No development shall commence until;
  - a) a scheme of intrusive investigations has been carried out on site to establish the risks posed to the development by past coal mining activity, and;

b) any remediation works and/or mitigation measures to address land instability arising from coal mining legacy, as may be necessary, have been implemented on site in full in order to ensure that the site is safe and stable for the development proposed. The intrusive site investigations and remedial works shall be carried out in accordance with authoritative UK guidance.

#### Reason

In the interest of ensuring that the development is subject to adequate investigation and remediation with regards to unstable land to ensure that the site is safe, stable and suitable for the proposed use and will remain so in accordance with PSP22 of the South Gloucestershire Local Plan: Policies Sites and Places Plan (Adopted) November 2017 and the relevant section of the National Planning Policy Framework

The undertaking of intrusive site investigations, prior to the commencement of development, is considered to be necessary to ensure that adequate information pertaining to ground conditions and coal mining legacy is available to enable appropriate remedial and mitigatory measures to be identified and carried out before building works commence on site. This is in order to ensure the safety and stability of the development, in accordance with paragraphs 178 and 179 of the National Planning Policy Framework.

7. Prior to the occupation of the development, or it being taken into beneficial use, a signed statement or declaration prepared by a suitably competent person confirming that the site is, or has been made, safe and stable for the approved development shall be submitted to the Local Planning Authority for approval in writing. This document shall confirm the methods and findings of the intrusive site investigations and the completion of any remedial works and/or mitigation necessary to address the risks posed by past coal mining activity.

#### Reason

In the interest of ensuring that the development is subject to adequate investigation and remediation with regards to unstable land to ensure that the site is safe, stable and suitable for the proposed use and will remain so in accordance with PSP22 of the South Gloucestershire Local Plan: Policies Sites and Places Plan (Adopted) November 2017 and the relevant section of the National Planning Policy Framework

8. A. Intrusive Investigation - No development shall commence until a ground investigation and gas survey have been carried out as outlined in the Intégrale Desk Study report dated November 2020. A report shall be submitted for the written approval of the local planning authority and include a conceptual model of the potential risks to human health; property/buildings and service pipes.

B. Remediation Strategy - Where unacceptable risks are identified from the investigation referred to in A above, a remediation strategy shall be submitted and include an appraisal of available remediation options; the proposed remediation objectives or criteria; and identification of the preferred remediation option(s). The programme of the works to be undertaken should be described in detail and the methodology that will be applied to verify the works have been satisfactorily completed. The approved remediation scheme shall be carried out before the development is first used.

C. Verification Strategy - Prior to first use, where works have been required to mitigate potential risks (under condition B) a report providing details of the verification demonstrating that all necessary remediation works have been completed satisfactorily shall be submitted to and agreed in writing by the Local Planning Authority.

D. Any contamination found during the course of construction of the development shall be reported immediately to the local planning authority. Development on the part of the site affected shall be suspended and an additional risk assessment carried out and submitted to and approved in writing by the local planning authority. Where unacceptable risks are found, remediation and verification schemes shall be submitted to and approved in writing by the local planning authority. These approved schemes shall be carried out before the development (or relevant phase of development) is resumed or continued.

Reason

In the interest of ensuring the site, which may be affected by contamination, is suitable for the proposed use and will remain so in accordance with PSP21 of the South Gloucestershire Local Plan: Policies Sites and Places Plan (Adopted) November 2017 and the relevant sections of the National Planning Policy Framework.

- 9. The materials to be used in the construction of the external surfaces of the extension hereby permitted shall match those used in the existing building.

Reason

To ensure a satisfactory standard of external appearance and to accord with Policy CS1 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013; and the National Planning Policy Framework.

- 10. The hours of working on site during the period of construction shall be restricted to  
Monday - Friday.....7:30am - 6:00pm  
Saturday.....8:00am - 1:00pm  
No working shall take place on Sundays or Public Holidays.  
The term working shall, for the purpose of clarification of this condition include: the use of any plant or machinery (mechanical or other), the carrying out of any maintenance/cleaning work on any plant or machinery deliveries to the site and the movement of vehicles within the curtilage of site

Reason

In the interest of protecting the amenities of neighbouring occupiers in accordance with PSP8 of the South Gloucestershire Local Plan: Policies Sites and Places Plan (Adopted) November 2017.

- 11. Development shall be implemented in accordance with the following plans:

103 Alma Road combined plans  
Existing block plan  
As received 12th June 2020

Combined existing plans  
Combined proposed plans

Dimensions and 3D plans  
Proposed site layout and gate elevation  
As received 11th January 2021

Site location and block plan  
As received 8th June 2021

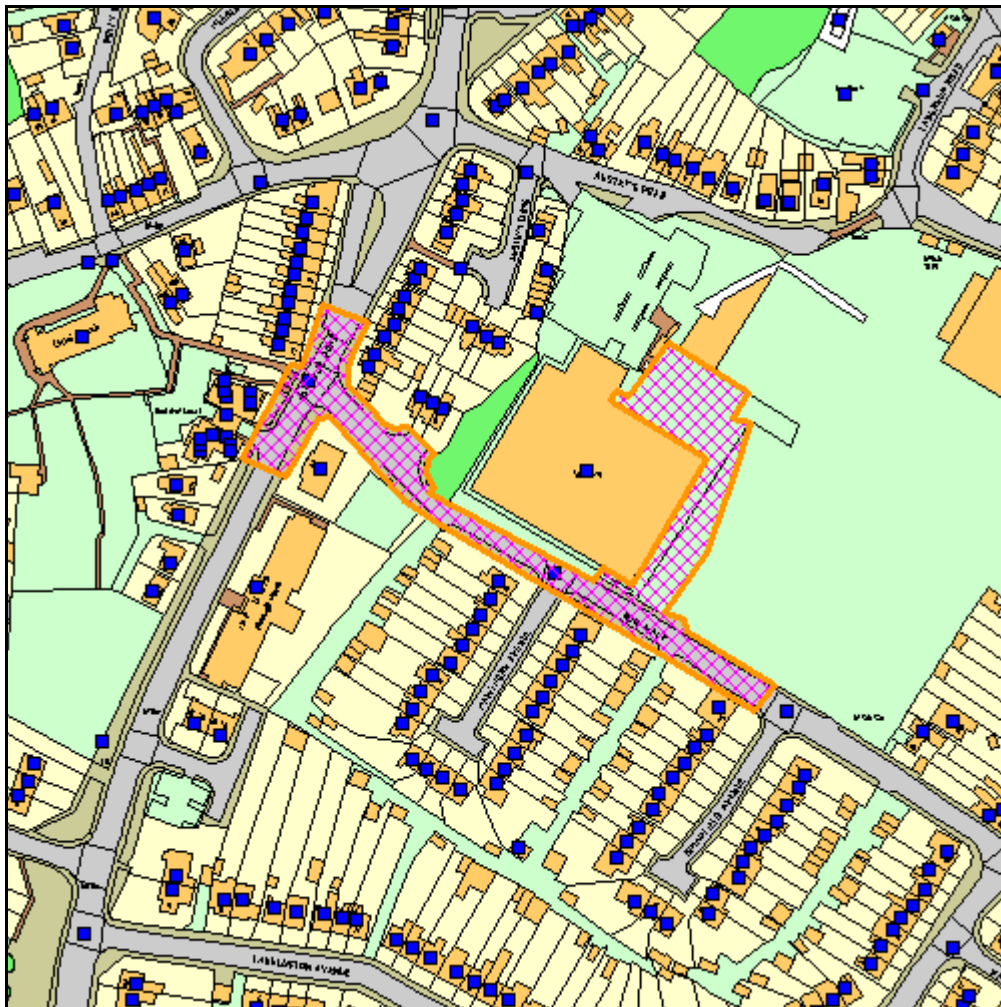
Reason  
For the avoidance of doubt and to define the exact terms of the permission.

**Case Officer: Alex Hemming**  
**Authorising Officer: Marie Bath**



**CIRCULATED SCHEDULE NO. 26/21 -2nd July 2021**

<b>App No.:</b>	P20/21981/F	<b>Applicant:</b>	Homes England
<b>Site:</b>	Kleeneze Sealtech Ltd Ansteys Road Hanham South Gloucestershire BS15 3SS	<b>Date Reg:</b>	11th November 2020
<b>Proposal:</b>	Upgrading of existing service access from New Walk to Sealtech's service yard with associated drainage and improvements to pedestrian infrastructure on Memorial Road	<b>Parish:</b>	Hanham Parish Council
<b>Map Ref:</b>	363970 172259	<b>Ward:</b>	Hanham
<b>Application Category:</b>	Minor	<b>Target Date:</b>	4th January 2021



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 100023410, 2008. N.T.S. P20/21981/F

South Gloucestershire Councillors have five working days from date of publication to consider whether items appearing on the Circulated Schedule should be referred to the Development Management or Strategic Sites Delivery Committees for determination.

## **REASON FOR REPORTING TO CIRCULATED SCHEDULE**

The application is referred to the Circulated Schedule as representation has been received from 16 no local residents which is contrary to the Officer's recommendation.

The application previously appeared on the Circulated Schedule on 18<sup>th</sup> June 2021. It is being re-circulated due to the request of the applicant to secure the works by a S278 agreement rather than a S106 agreement as previously proposed. This is considered the Council's highway and legal officers as a suitable, alternative means of securing the highway works.

### **1. THE PROPOSAL**

- 1.1 The application seeks full planning permission for the upgrading of an existing service access to a service yard with associated drainage and improvements to pedestrian infrastructure.
- 1.2 The access in question runs parallel and adjacent to the Kleeneze Sealtech Ltd site which is a safeguarded area for economic development. The access connects the existing service yard with New Walk in Hanham.
- 1.3 The application site benefits from extant planning permission for the re-development of Hanham Business Park by Tesco Stores Ltd, although it is understood the foodstore is no longer being implemented. This application would provide HGV's an alternative access to enter and exit the service yard rather than via Laburnum Road as is the current arrangement. The proposal would enable the continued safe access of Sealtech's service yard for HGVs during and after redevelopment of the wider Hanham Business Park, segregated from staff access and parking.
- 1.4 During the course of the application and following concerns raised by highways officers, the proposed re-location of the pedestrian refuge island was replaced by a raised table at the junction between New Walk and Memorial Road. A pedestrian crossing will be maintained at the same location.

### **2. POLICY CONTEXT**

- 2.1 National Guidance  
National Planning Policy Framework  
National Planning Policy Guidance

- 2.2 Development Plans

South Gloucestershire Local Plan Core Strategy (Adopted) December 2013  
CS1 High Quality Design

CS4a Presumption in Favour of Sustainable Development  
 CS5 Location of Development  
 CS8 Improving Accessibility  
 CS9 Managing the Environment and Heritage  
 CS12 Safeguarded Areas for Economic Development  
 CS29 Communities on the East Fringe of Bristol Urban Area

South Gloucestershire Local Plan Policies, Sites and Places Plan (Adopted)  
 November 2017

PSP1 Local Distinctiveness  
 PSP8 Residential Amenity  
 PSP11 Transport Impact Management  
 PSP22 Unstable Land  
 PSP27 B8 Storage and Distribution

### **3. RELEVANT PLANNING HISTORY**

- 3.1 PK16/1690/NMA  
 Non Material Amendment to planning application PK12/1619/F to amend wording of condition 25 to say Prior to the commencement of any highway works on Ansteys Road, relocation of the Wessex Water Control Kiosk for Combined Sewer Overflow currently located on the site shall be carried out to the satisfaction of Wessex Water and such details as approved shall be forwarded to the Local Planning Authority for approval.  
 No objection: 29/04/2016
- 3.2 PK12/1619/F  
 Demolish an existing warehouse building and construction of a foodstore (2,918m<sup>2</sup> gross internal floorspace) with associated car parking, landscaping, ancillary plant and equipment. Alterations to existing vehicular accesses on New Walk and Anstey's Road and alterations to car parking to retained Sealtech premises.  
 Approved subject to Section 106: 09/05/2012

### **4. CONSULTATION RESPONSES**

- 4.1 Hanham Parish Council  
 No objections, however concerns expressed over parking in New Walk which could obstruct accessibility in relation to access and egress by large vehicles.
- 4.2 Sustainable Transport  
 Revised comments following submission of amended plans- 07/06/21:

There are highway works associated with this development and these are in two parts. First part is to improve the existing site access from the New Walk and second part aims to improve accessibility to the wider highway network via Memorial Road junction with New Walk.

I confirm that the first set of the highway works are those previously agreed by the Council in association with planning application PK12/1619/F (i.e. application for Tesco). The second and the new element of the proposal aims to address the service vehicles arriving to the site and enable them to

negotiate Memorial Road Junction with New Walk. For this to be achieved, the applicant is proposing to remove the existing traffic island on Memorial Road (near the junction with New Walk) and to replace it with a 'Raised Table' as shown on the submitted drawing. This proposal aims to maintain low vehicular speed and at the same time aims to provide alternative pedestrians crossing point at the same location as existing on Memorial Road.

If the council is minded to approve this then, it is suggested that all highway works be secured under appropriate s106 legal agreement. Alternatively, the works can be secured by condition to ensure the proposed access is not in use until a S278 agreement is entered into.

#### 4.3 Highway Structures

Informative- Structure Number 67W087 (23 Memorial Rd, Retaining Wall) is close to the application site. No excavation within 5 metres of the existing structure is to be undertaken without providing details of the proposed excavation to the Highway Structures team at least 10 working days prior to the excavation.

#### 4.4 Lead Local Flood Authority

No objection.

#### 4.5 The Coal Authority

No objection subject to conditions.

### **Other Representations**

#### 4.6 Local Residents

Objection comments received from 16 no. residents, summarised as follows;

##### Highway Safety

- Pinch point in roads unsuited for articulated lorries.
- Road is narrow in places, not possible for HGVs to access the site.
- Inadequate visibility
- Many parents and children use new Walk for school route.
- Pavement only on one side of the road.
- Previous accidents occurred on Laburnum Rd involving lorry.
- T-junction on Memorial Rd is a black spot.
- Cars parked along this route will cause obstruction.
- Current crossing provides safe refuge, proposal not as visible or convenient for accessing the High St.
- Proposed crossing in close proximity to vehicle entrance to flats.
- Is there room for HGVs to manoeuvre safely?

##### Residential Amenity

- Will impact current on-street parking provision
- Parking restrictions would seriously impact residents that park on New Walk.
- Disruption to residents to allow a relatively few number of commercial vehicle movements is disproportionate.
- Increase in noise and fumes from HGVs.

Other

- No notification of application received.
- Many residents have not been informed.

**5. ANALYSIS OF PROPOSAL****5.1 Principle of Development**

Policy PSP11 of the Policies, Sites and Places Plan (Adopted) November 2017 allows for the upgrading of vehicular access subject to considerations on the effect upon the highway and road safety. In addition, guidance in the NPPF should be used to assess the impact of the development. Furthermore, the Kleeneze Sealtech site is located within a safeguarded area for economic development, policy CS12 of the Core Strategy supports the regeneration and retention of B use classes and contributions to a more sustainable pattern of development.

5.2 Therefore, the proposed development is acceptable in principle but should be determined against the considerations as set out below.

**5.3 Access and Highway Safety**

The application is proposing the upgrade of an existing vehicular access from New Walk to Sealtech's service yard and to remove an existing pedestrian refuge on Memorial Road, construct a new crossing and install a raised table. It is acknowledged that there were historical HGV accesses from the site onto New Walk, though these have been closed off for a number of years. That said, it is important to note the re-opening of this access for service use to Sealtech was agreed within the approval of the previous application (PK12/1619/F).

5.4 The previously approved application for the Tesco footstore retained the Sealtech business operation. The approved site layout included an upgraded site access arrangement off New Walk to enable the Sealtech site to be serviced from this point rather than Labernum Road. This was designed to also provide a secondary vehicular access for customers of the foodstore. The proposal subject of this application would retain the same position for the access from New Walk but this would no longer be used as secondary access point for the wider development, serving only the Sealtech service yard instead. As use would only be from vehicles accessing the Sealtech site it is accepted that the potential generated traffic on New Walk would be reduced. The proposed reduction in width of the access road from 7.5m to 5.5m and providing an 'x' distance of 2.4m for the visibility spay is considered to be acceptable by the Council's highway officer. Furthermore, the submitted swept path analysis indicates that HGV vehicles would be able to enter and exit the site in forward gear. This element of the proposal is not considered to be materially different from that of the previously approved arrangement under PK12/1619/F and as such, no objection is raised.

5.5 The submitted vehicle tracking information indicates that the existing pedestrian refuge at the junction of New Walk and Memorial Road would conflict with HGV vehicles when entering and exiting New Walk. It is therefore proposed that this would be removed, though an informal crossing would remain at this point. The

- initial proposal included the re-location of the refuge island to the south side of the junction, however officers raised concerns that this could create difficulties for larger vehicles turning left from New Walk, as well as a failure to meet latest specification requirements in terms of size. Although no refuge island would be in place, on request of the Council's transport officer a raised table would be inserted covering the entirety of the junction of New Walk and Memorial Road. This is considered by officers to adequately reduce vehicle speeds and maintain a satisfactory level of road safety in this location.
- 5.6 Concern has also been raised by local residents in regard to the narrow nature New Walk and current on-street parking causing obstruction for large vehicles. However, the application is proposing a formal give-way arrangement at this pinch point and a buildout to reduce the effective road width to 3.5m, as well as supplementary signage. Highways officers are satisfied this arrangement would not result in any severe highway safety concerns. The current on-street parking which would be impacted by the proposal is thought to consist of a relatively short stretch of road and given the abundance of on-street parking in the immediate area, it is thought this could be adequately accommodated elsewhere.
- 5.7 As such, subject to a condition to ensure the use of the proposed access from New Walk is not commenced until the applicant enters into a S278 agreement to carry out the highways work (as shown in principle on the plans), there is no transportation objection to the proposal. A S278 agreement allows the developer to enter into a legal agreement with the Council's Highway Authority to make alterations to the public highway. These works cannot begin until the S278 agreement is signed by both the developer and the Council.
- 5.8 Residential Amenity  
Policy PSP8 of the PSP Plan states development proposals will be acceptable provided they do not create unacceptable living conditions or have an unacceptable impact on the residential amenity of occupiers of nearby properties. Most relevant to this application are potentially unacceptable impacts resulting from; noise or disturbance; and odours, fumes and vibration.
- 5.9 As stated above, the previously approved upgraded access arrangements off New Walk were intended to provide a secondary access point for customers of the proposed Tesco store as well as those vehicles accessing the retained Sealtech site. Whereas the new proposal would be a means of access to the Sealtech service yard only.
- 5.10 Although the new proposal is sought to allow delivery vehicles a means of access to the Sealtech site, overall the proposal is not thought to generate any material increase in traffic using New Walk and therefore is not considered to be any more harmful than the previously approved arrangement. Conversely, by removing access to the wider business park, it could result in less disturbance and fewer fumes.
- 5.11 The submitted Transport Statement states that Sealtech typically receives between 4 and 6 deliveries a day comprising of a combination of vans, rigid and arctic HGVs. These deliveries take place weekdays between the hours of

09:00 and 17:30. This is considered to be reasonable in that the noise impact and disturbance to local residents would be limited.

5.12 Drainage

Following the submission of a proposed drainage layout plan, the Flood and Water management team were satisfied with the proposed surface water drainage arrangements. As such, no objections are raised in this regard.

5.13 Coal Mining

In support of the application a Coal Mining Risk Assessment was submitted. In order to ensure the future safety and stability of the development, officers are satisfied that the necessary investigation work and mitigation measures suggested by the Coal Authority could be addressed by means of condition.

5.12 Procedural Matters

Some concern was raised in relation to the carrying out of the neighbour consultation. The consultation carried out by the Council was in line with the Town and Country Planning (Development Management Procedure) (England) Order 2015 and the adopted Statement of Community Involvement (SCI). Letters were sent to the relevant addresses on 11<sup>th</sup> November 20.

5.13 Equalities

The Equality Act 2010 legally protects people from discrimination in the workplace and in wider society; it sets out the different ways in which it is unlawful to treat someone. As a result of this Act the public sector equality duty came into force. Among other things those subject to the equality duty must have due regard to: eliminate unlawful discrimination, harassment and victimisation; advance equality of opportunity and foster good relations between people who share a protected characteristic and those who do not. The general equality duty therefore requires organisations to consider how they could positively contribute to the advancement of equality and good relations. It requires equality considerations to be reflected into the design of policies and the delivery of services.

With regards to the above this planning application is considered to have a neutral impact on equality.

## 6. CONCLUSION

6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.

6.2 The recommendation to **grant** permission has been taken having regard to the policies and proposals in the development plan set out above, and to all the relevant material considerations set out in the report.

## 7. **RECOMMENDATION**

- 7.1 That the application be **APPROVED** subject to the conditions included on the decision notice.

### **CONDITIONS**

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

#### Reason

To comply with the requirements of Section 91 of the Town & Country Planning Act 1990 (as amended).

2. The use of the site access via New Walk hereby approved shall not commence until the applicant has entered into an appropriate S278 agreement to carry-out the highway works as shown in principle on plan no. 49308-2001-101 rev D and to secure all necessary approvals, Regulation Orders and fees as required to achieve this; and shall construct and complete the road works to the approved adoptable standard in accordance with the highway layout hereby approved. For the avoidance of doubt, the scheme of works are

a) Replace the existing 'traffic island' with a 'Speed Table' on Memorial Road at its junction with New Walk as shown in principle on plan no. 49308-2001-101 rev D together with all associated works (including works to road surfacing, lighting, drainage, signage and road markings etc.).

b) Construct the site access and to provide road priority arrangement on New Walk as shown in principal on plan no. 49308-2001-101 rev D together with all associated works (including road surfacing, lighting, road signage and road marking etc).

#### Reason

In the interests of highway safety and to accord with Policy CS8 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013; Policy PSP11 of the South Gloucestershire Local Plan: Policies, Sites and Places Plan (Adopted) November 2017; and the provisions of the National Planning Policy Framework. This is required prior to commencement of the use of the access off New Walk to ensure appropriate safety measures are already in place.

3. No development shall commence until;
- a) a scheme of intrusive site investigations has been carried out on site to establish the risks posed to the development by past coal mining activity, and;
- b) any remediation works and/or mitigation measures to address land instability arising from coal mining legacy, as may be necessary, have been implemented on site in full in order to ensure that the site is made safe and stable for the development proposed.

The intrusive site investigations and remedial works shall be carried out in accordance with authoritative UK guidance.



Reason

To ensure that the risk posed by the past coal mining activity in the area is adequately identified and where necessary mitigated and to accord with Policy PSP22 of the South Gloucestershire Local Plan Policies, Sites and Places Plan (Adopted) November 2017; Policy CS9 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013; and, the National Planning Policy Framework. This is required prior to commencement to fully engage with the coal mining legacy.

4. Prior to first use of the access off New Walk, a signed statement or declaration prepared by a suitably competent person confirming that the site is, or has been made, safe and stable for the approved development shall be submitted to the Local Planning Authority for approval in writing. This document shall confirm the methods and findings of the intrusive site investigations and the completion of any remedial works and/or mitigation necessary to address the risks posed by past coal mining activity.

Reason

To ensure that the risk posed by the past coal mining activity in the area is adequately identified and where necessary mitigated and to accord with Policy PSP22 of the South Gloucestershire Local Plan Policies, Sites and Places Plan (Adopted) November 2017; Policy CS9 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013; and, the National Planning Policy Framework. This is required prior to commencement to fully engage with the coal mining legacy.

5. The development/works hereby permitted shall only be implemented in accordance with the plans as set out in the plans list below:

Received by the Council on 6th November 2020;  
The Location Plan

Received by the Council on 11th February 2021;  
General Arrangement (49308/2001/101 Rev D)  
Swept path Analysis (49308/2001/111 Rev A)  
Drainage Layout Plan (49308/2001/501 Rev B)

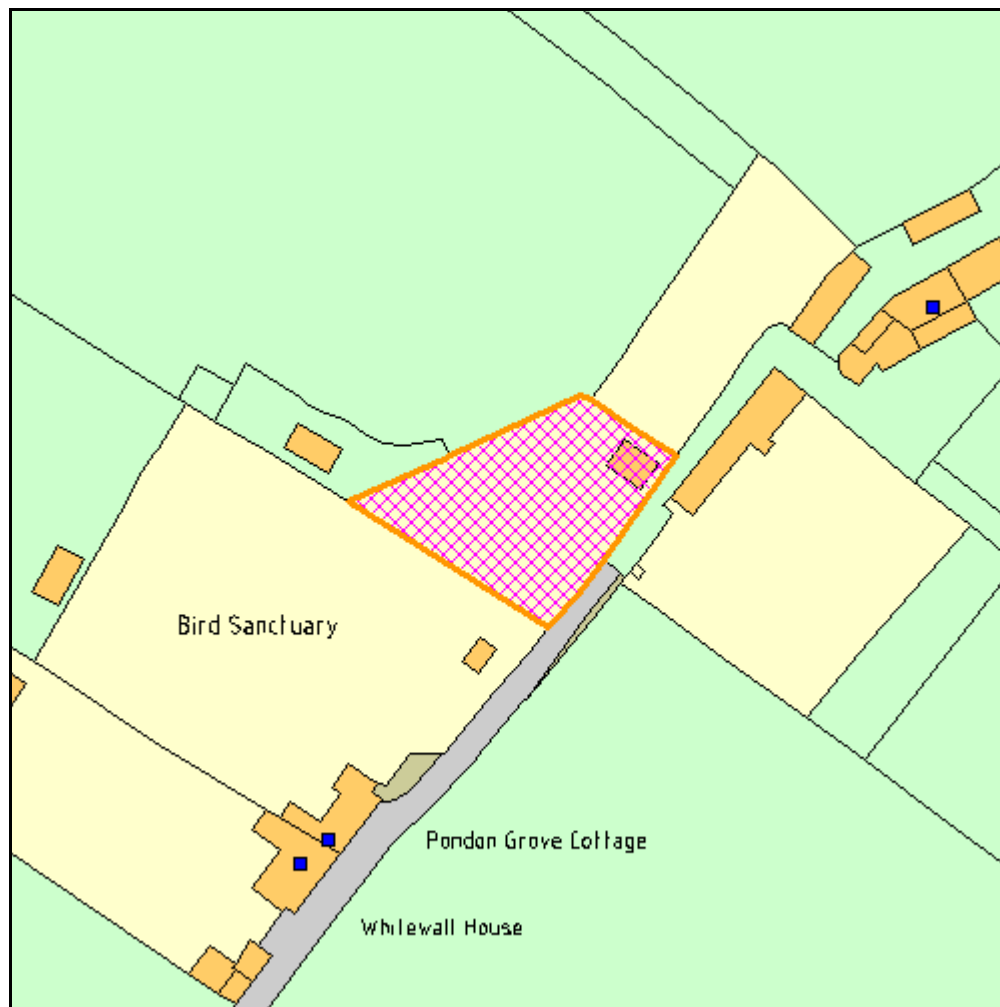
Reason

To define the terms and extent of the permission.

**Case Officer: James Reynolds**  
**Authorising Officer: Marie Bath**

**CIRCULATED SCHEDULE NO. 26/21 -2nd July 2021**

<b>App No.:</b>	P21/00787/F	<b>Applicant:</b>	Mr And Mrs Vickers
<b>Site:</b>	Milbury House Whitewall Lane Buckover South Gloucestershire GL12 8DY	<b>Date Reg:</b>	16th February 2021
<b>Proposal:</b>	Erection of 1 no. dwelling with garage and associated works (amendment to previously approved scheme PT18/0822/F).	<b>Parish:</b>	Thornbury Town Council
<b>Map Ref:</b>	366226 190460	<b>Ward:</b>	Thornbury
<b>Application Category:</b>	Minor	<b>Target Date:</b>	12th April 2021



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 100023410, 2008. **N.T.S.** **P21/00787/F**

South Gloucestershire Councillors have five working days from date of publication to consider whether items appearing on the Circulated Schedule should be referred to the Development Management or Strategic Sites Delivery Committees for determination.

## **INTRODUCTION**

This application has been referred to the Circulated Schedule due to the receipt of an objection from the Thornbury Town Council

### **1. THE PROPOSAL**

1.1 This application seeks full planning permission for the erection of 1 no. dwelling with garage and associated works to amend to the previously approved scheme PT18/0822/F, which was approved for the installation of a raised decking, balcony to the approved dwelling, which was granted planning permission under PT15/3662/F at Milbury House, Whitewall Lane, Buckover.

1.2 This application proposes some minor changes including

- (i) to raise the ridgeline of the main part of the building slightly by 0.27 metres, and 0.26 metres to the front part of the building.
- (ii) to enlarge the width of the dormers by 0.18 metres
- (iii) to change the location of the rooflights on the South East Elevation
- (iv) to change the location of the proposed dormers and to omit one rooflight on the North West Elevation
- (v) to omit the window on the first floor North East Elevation.

During the course of the application, a revised scheme was submitted to rectify some discrepancies on the drawings.

1.3 The site is located in the small hamlet of Milbury Heath and is not within a defined settlement boundary (i.e. it is within open countryside). The site is not located within the Green Belt. It is noted that a public rights of way running along the frontage of the site, however the proposal would not affect this existing footpath.

### **2. POLICY CONTEXT**

#### 2.1 National Guidance

National Planning Policy Framework February 2019  
National Planning Practice Guidance

#### 2.2 Development Plans

South Gloucestershire Local Plan: Policies, Sites and Places Plan (Adopted) November 2017

PSP1	Local Distinctiveness
PSP2	Landscape
PSP8	Residential Amenity
PSP11	Transport Impact Management

PSP16	Parking Standards
PSP17	Heritage Assets and the Historic Environment
PSP19	Wider Biodiversity
PSP20	Flood Risk, Surface Water and Watercourse Management
PSP38	Development Within Existing Residential Curtilage, Including Extensions and New Dwelling.
PSP40	Residential Development in the Countryside

#### South Gloucestershire Local Plan Core Strategy Adopted December 2013

CS1	High Quality Design
CS4A	Presumption in Favour of Sustainable Development
CS5	Location of Development
CS8	Improving Accessibility
CS9	Managing the environment and heritage
CS15	Distribution of Housing
CS16	Housing Density
CS17	Housing Diversity
CS34	Rural Areas

- 2.3 Supplementary Planning Guidance  
 Residential Parking Standard SPD (Adopted) December 2013  
 Householders Design Guide (Adopted) March 2021

### **3. RELEVANT PLANNING HISTORY**

- 3.1 N5062/3 Erection of single storey extension to form siting room and garage. Approved 03.12.81
- 3.2 P84/1546 Erection of single storey extension to form lounge / diner. Approved 04.06.84
- 3.3 P84/1862 Erection of double garage. Withdrawn 11.07.84
- 3.4 P85/1978 Alterations and erection of a two storey extension to form an entrance hall, lounge and dining room with two bedrooms and a bathroom over. Approved 31.07.85
- 3.5 PT12/2827/NMA Non material amendment to approved planning permission P85/1978 to reduce the footprint of the proposed dwelling and the increase the size of a window in the single storey element. Objection. 11.09.12 as the proposed amendment would significantly reduce the size of the building
- 3.6 PT13/2671/F Erection of 1 no. detached dwelling and detached garage with associated works. Withdrawn 20.09.13
- 3.7 PT15/0492/CLE Certificate of Lawfulness for the existing residential use of Milbury Cottage. Approved 26.5.2015
- 3.8 PT15/3662/F Erection of 1 no. dwelling (amendment to previously approved scheme P85/1978). Approved 30.11.15

- 3.9 PT18/0822/F Erection of 1no dwelling and associated works. (re-submission of PT17/5660/F to include raised decking, balcony and changes to fenestration to amend the previously approved application PT15/3662/F). Approved 04.05.2018

#### 4. **CONSULTATION RESPONSES**

##### 4.1 Thornbury Town Council

Objection. This is outside the development boundary. The Council feels this will have a detrimental effect on a listed building and is inappropriate design for location. It is not sensitive to the surrounding landscape.

##### 4.2 Other Consultees

Conservation Officer – recommended refusal unless the application is revised so the previously approved scale parameters are followed. The harm would be somewhere between the middle and lower end of the spectrum of ‘less than substantial harm’

Lead Local Flood Authority – no objection.

Sustainable Transport - No objection.

Highway Structure – no comment

##### **Other Representations**

##### 4.3 Local Residents

None received.

#### 5. **ANALYSIS OF PROPOSAL**

##### 5.1 Principle of Development

The site has been subject to a number of planning applications in the past. As planning permission has been granted for the erection of new dwelling on this particular site, given the nature of the proposal, there is no in-principle objection.

##### 5.2 Design, Visual Amenity and Historic Perspective

The application site lies to the northern side of Whitewall Lane. There are a number of cottages along the lane. The site is also lies directly to the west of the Grade II listed building.

- 5.3 The approved dwelling is a single storey ‘L’ shaped building with a number of dormers on the northwest elevation with a dual pitched roof with gable ends. This proposal is to raise the ridge height of the approved dwelling by less than 0.3 metres in order to accommodate an en-suite and a dressing area in its loft, and to make changes to the number and locations of the new openings. No change is made in terms of the external materials. In terms of the design and visual amenity perspective, it is considered that the proposed scheme is acceptable due to its modest scale.

- 5.4 From the heritage perspective, the Conservation Officer is concerned that the increase in ridge height could undermine the previous agreed position and would result in further harm to the setting of the Grade II listed house, given that the approval of this dwelling in this location was the subject of significant discussion to ensure the impact upon the setting of the listed building would be limited. In this instance, the applicant submitted a set of drawings showing the dimensions of the proposal in terms of its height and rectified the minor discrepancy of the proposed dormers on the Northwest elevation. The Case Officer compared that the current proposal with the previously approved elevations. Whilst it is noted that the proposed changes may have an impact upon the setting of the listed building, it is considered that such impact would not be so significant to be material as the scheme would only raise the ridge height by less than 0.3 metres. Hence, the Case Officer consider that the level of harm would be at the very lower end of the less than substantial harm spectrum and paragraph 196 of the Framework will apply and this need to be taken in to account in determining the application.
- 5.5 Residential Amenity  
The nearest residential property to the proposed dwelling would be Pondon Grove Cottage, located to the south west of the proposed dwelling. The submitted drawings show that there would not be any significant changes to the south west elevation. Given its considerable separation from the neighbouring properties, it is considered that the proposed changes would not cause any unreasonable adverse impact on the neighbouring residents, in terms of overlooking and overbearing impact. The proposal is located within a large plot, and it is considered that sufficient private amenity space would be provided for the new dwelling. Accordingly, it is considered that the proposal will not have a materially detrimental impact on the neighbouring occupiers, and therefore satisfied Policy PSP43 of the adopted PSPP.
- 5.6 Drainage  
The submitted information indicated that a septic tank would be used as a method for disposing foul sewer, and a soakaway would be used for disposing surface water. The Council Drainage Engineer has considered the submitted details and raise no objection. Subject to the proposed details are implemented, there is no drainage objection.
- 5.7 Highway Safety  
This application is broadly a resubmission of the previous proposals and so overall remains the same in highways and transportation terms. Subject to the previous parking condition will be imposed on this planning permission, there is no highway objection to the proposal.
- 5.8 Planning Balance – Weighing Up Exercises  
As discussed above, Officers have identified the magnitude of harm caused by this proposal and it is considered that the harm which would be caused to the setting of the listed building would be at the very lower end of the less than substantial harm spectrum. To accord with NPPF paragraph 196, the harm needs to be weighed against the public benefits of the proposal, The NPPP clearly set out three overarching objectives of sustainable development,

economic, social and environmental. In this instance, it is considered that the resulting proposal would give rise to some modest economic benefits, while there would be neutral benefits in terms of social and environmental objectives. Taking of these together, it is considered that the heritage harm would be outweighed by public benefits.

#### 5.9 Consideration of likely impact on Equalities

The Equality Act 2010 legally protects people from discrimination in the workplace and in wider society; it sets out the different ways in which it is unlawful to treat someone. As a result of this Act the public sector equality duty came into force. Among other things those subject to the equality duty must have due regard to: eliminate unlawful discrimination, harassment and victimisation; advance equality of opportunity and foster good relations between people who share a protected characteristic and those who do not. The general equality duty therefore requires organisations to consider how they could positively contribute to the advancement of equality and good relations. It requires equality considerations to be reflected into the design of policies and the delivery of services.

With regards to the above this planning application it is considered to have a neutral impact on equality.

## 6. CONCLUSION

6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.

6.2 The recommendation to grant permission has been taken having regard to the policies and proposals in the development plan set out above, and to all the relevant material considerations set out in the report.

## 7. RECOMMENDATION

7.1 That planning permission be granted subject to the following conditions

### CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

To comply with the requirements of Section 91 of the Town & Country Planning Act 1990 (as amended).

2. The drainage details shown on Drawing No. 1730/24, received on 10 February 2021, shall be carried out according prior to the first occupation of the dwelling hereby approved.

Reason

To ensure that a satisfactory means of drainage is provided, and to accord with Policy PSP20 of the South Gloucestershire Local Plan: Policies, Sites and Places Plan (Adopted November 2017), Policy CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework.

3. A minimum of 2 off street parking spaces (of at least 2.4m x 4.8m) shall be provided on site before the dwelling is firstly occupied, and shall thereafter be retained for that purpose.

Reason

To ensure the satisfactory provision of parking facilities and in the interest of highway safety and the amenity of the area, and to accord with Policy CS8 of the South Gloucestershire Local Plan; Core Strategy (Adopted) December 2013; and the South Gloucestershire Residential Parking Standards SPD (Adopted) December 2013.

4. The proposed development hereby approved shall be carried out in accordance with the following plans:

Site location plan, site layout plan, Proposed garages and proposed floor plans, received by the Council on 10 February 2021 and Revised Proposed Elevations, received by the Council on 3 June 2021.

Reason: To define the terms and extent of the permission.

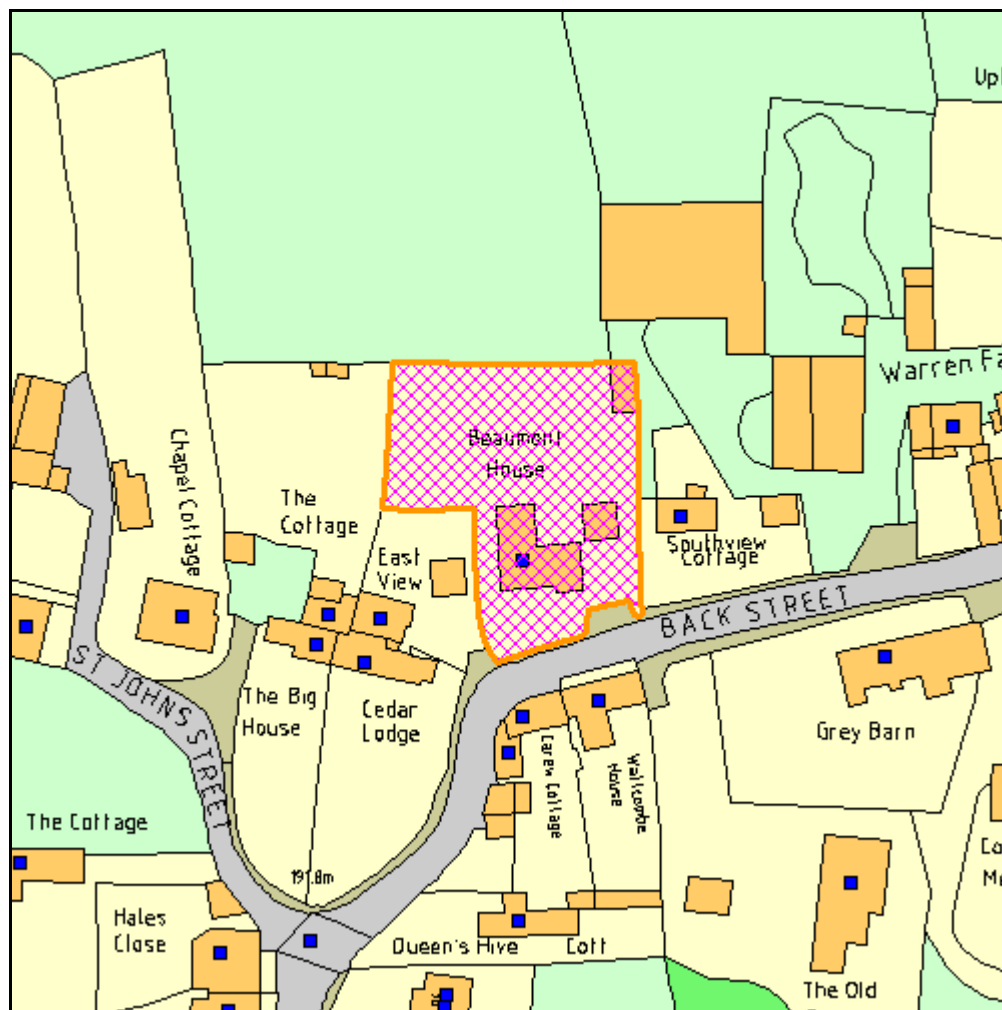
**Case Officer: Olivia Tresise**

**Authorising Officer: Marie Bath**



**CIRCULATED SCHEDULE NO. 26/21 -2nd July 2021**

<b>App No.:</b>	P21/02427/F	<b>Applicant:</b>	Ben and Karen Tills
<b>Site:</b>	Beaumont House Back Street Hawkesbury Upton South Gloucestershire GL9 1BB	<b>Date Reg:</b>	8th April 2021
<b>Proposal:</b>	Erection of single storey rear extension to form additional living accommodation. Erection of front porch, carport and garden room. Installation of rear dormer, rear balcony and solar PV panels to side roof elevation.	<b>Parish:</b>	Hawkesbury Parish Council
<b>Map Ref:</b>	378102 187165	<b>Ward:</b>	Chipping Sodbury And Cotswold Edge
<b>Application Category:</b>	Householder	<b>Target Date:</b>	2nd June 2021



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 100023410, 2008. N.T.S. P21/02427/F

South Gloucestershire Councillors have five working days from date of publication to consider whether items appearing on the Circulated Schedule should be referred to the Development Management or Strategic Sites Delivery Committees for determination.

This planning application will be added to the Circulated Schedule because the proposal has received an objection from Hawkesbury Upton Parish Council, which is contrary to the officer's recommendation

## **1. THE PROPOSAL**

- 1.1 The application seeks full planning permission for the erection of a single storey rear extension to form additional living accommodation. The application also includes the erection of a front porch, a carport and a garden room. Furthermore, the application includes the installation of a rear dormer, rear balcony and solar PV panels to the side roof elevation, as detailed on the application form and illustrated on the accompanying drawings.
- 1.2 The application site at Beaumont House, Back Street, is set within a good sized plot, and is a large, detached 1980s existing two storey detached property. It is clad in reconstituted stone with a roof covering of concrete 'stone slates' and is a large, distinctly modern dwelling in an area otherwise characterised by vernacular stone built cottages, terraces and farmhouses.
- 1.3 It is located within the rural village of Hawkesbury Upton, within the 'Back Street' area of Hawkesbury Conservation Area; is outside of the settlement boundary, but is located within the Cotswold National Landscape (formally known as Cotswold AONB). The Hawkesbury Conservation Area Advice Note describes 'Back Street' as having a diverse and informal character, including a mix of small cottages and big houses, and "a number of farm buildings and barns some of which have been converted into dwellings. The roads are partially enclosed with a mix of high and low stone boundary walls, hedgerows and grass verges giving a more rural and informal character."
- 1.4 The application site of Beaumont House is located immediately to the east of the Grade II Listed 'The Big House', a 17th century house remodelled in the 18th century and eventually divided into 5 dwellings in the 19th century. Access via the public footpath immediately to the east of the application site leads you across the fields to the north, from where extensive views of both the Big House and Beaumont House can be obtained.
- 1.5 As part of the assessment and determination of this application, significant objection comments were received, and as a consequence, the proposal has evolved and been re-designed accordingly. A further consultation has now taken place and subsequent revised comments have now been received, in particular from the Listed Building and Conservation Officer retracting the previous objection comments.

## **2. POLICY CONTEXT**

- 2.1 National Guidance  
National Planning Policy Framework February 2019

## National Planning Policy Guidance

2.2 Development PlansSouth Gloucestershire Local Plan Core Strategy Adopted December 2013

CS1	High Quality Design
CS4a	Presumption in Favour of Sustainable Development
CS5	Location of Development
CS8	Improving Accessibility
CS9	Managing the environment and heritage

South Gloucestershire Local Plan: Policies, Sites and Places Plan Adopted November 2017

PSP1	Local Distinctiveness
PSP8	Residential Amenity
PSP11	Transport Import Management
PSP16	Parking Standards
PSP17	Heritage Assets and the Historic Environment
PSP38	Development within Existing Residential Curtilages
PSP43	Private Amenity Space Standards

2.3 Supplementary Planning Guidance

South Gloucestershire Design Checklist (Adopted 2007)

Residential Parking Standards SPS (Adopted 2013)

Household Design Guide SPD (Adopted 2021)

Hawkesbury Conservation Area (Designated in 1981, extended in 1999)

Hawkesbury Conservation Area Advice Note

**3. RELEVANT PLANNING HISTORY**

- 3.1 P87/2049. Erection of detached house and detached double garage; construction of vehicular access (in accordance with the revised plans received by the council on 4th August 1987). Approved. 26.08.1987.

**4. CONSULTATION RESPONSES**4.1 Hawkesbury Parish Council

1No letter of Objection –

- *To qualify the decision - Councillors would like the extension to be less intrusive, softened, more in keeping and to reconsider the design as the extension will be seen from all views points.*
- Further comments have been received following the re-design:
- *The property is situated in a Conservation Area, the extension is too large and the materials are not in keeping with the existing, therefore the Parish Council objects to the planning application.*

4.2 Other Consultees

Listed Building and Conservation Officer

No Objections (original objection retracted).

Sustainable Transport

No Objections.

Public Rights of Way  
No Objections (original objection retracted).

Open Spaces Society  
No Comments received.

The Tree Team  
No Objections.

## **Other Representations**

### 4.3 Local Residents

1 No letter of Objection received –

- *The Application proposes to introduce a piece of contemporary architecture into a traditional setting and says that the contemporary extension will not have an overbearing or detrimental impact on the neighbouring buildings or surrounding area because it is not visible. This is not true because the application does not take into account the following: Beaumont House is adjacent to The Big House, the neighbouring buildings are all of vernacular materials and Beaumont House is visible from a wide area.*

*The Big House is a Grade 2 listed 17th century building with a Georgian facade which is one of the most significant buildings in Hawkesbury Upton. Beaumont House was built on land that was part of the garden of The Big House and thus lies within the original curtilage of The Big House. The contemporary extension will directly face The Big House. Beaumont House should not dominate The Big House.*

*The black zinc roof and wall will not blend in with the creams and browns of the surrounding buildings. The black cladding and glass will be clearly visible from many different places. The rear and west side (where the cladding and glass will be) are clearly visible from the Somerset Monument, the Cotswold Way, the road entering the village and Starveal Lane. The extension will be very obvious from the public footpath that runs around the side of Beaumont House and across the field at the rear of Beaumont House, giving a clear view of the contemporary materials. The west side of Beaumont House is also visible from the fork in the road of Back Street and St John's Street. It goes without saying that it will also be visible from the land and building of The Big House.*

## 5. **ANALYSIS OF PROPOSAL**

### 5.1 Principle of Development

Policy PSP38 of the PSP Plan (November 2017) allows the principle of development within residential curtilages, subject to considerations of visual amenity, residential amenity and highway safety. It states that new dwellings and extensions within existing residential curtilages are acceptable in principle

but should respect the overall design and character of the street and surrounding area. They should not prejudice the amenities of neighbours, or that of highway safety and the parking provision should be of an acceptable level for any new and existing buildings. The adequate provision of private amenity space should also not be sacrificed for any new development that forms part of a settlement pattern that also contributes to local character.

5.2 Policy CS1 of the Core Strategy seeks that the siting, form, scale, height, massing, detailing, colour and materials are informed by, respect and enhance the character, distinctiveness and amenity of both the application site and its context. The proposal for planning permission is for the:

- a. *erection of a single storey rear extension;*
- b. *erection of a front porch;*
- c. *a carport;*
- d. *a garden room;*
- e. *installation of a rear dormer;*
- f. *rear balcony and*
- g. *solar PV panels to side roof elevation.*

Consequently the main issues to deliberate are the impact on the character of the area and the principle dwelling; the impact development may have on the amenities of neighbouring occupiers and the resultant dwelling; and the proposals impact on highway safety/parking provision.

### 5.3 The Cotswold AONB

The village of Hawkesbury Upton is set in an attractive rural area amid the steeply sloping topography of this southern section of the Cotswolds. This dramatic setting plays an important role in determining the village's form and character.

5.4 Policy PSP2 states that development proposals will only be acceptable where they conserve and where appropriate enhanced quality, amenity, distinctiveness and special character of the landscape (defined by the Landscape Character Assessment). This includes, but is not limited to:

- *landscape attributes which define the inherent character of an area, such as: landscape patterns arising from roads, paths, hedges, waterways and buildings; designed and natural landscapes, which include elements of natural beauty, historical or cultural importance and ecological features;*
- *the tranquillity of a landscape, sense of place and setting;*
- *landscape features, such as trees, hedgerows, woodlands, views, banks, walls, ponds and waterways; and*
- *distinctive or characteristic topography and landforms.*

5.5 As the application site is within the Cotswold National Landscape, great weight is given to the conservation and enhancement of the natural and scenic beauty of the landscape whilst taking account of the biodiversity interest and the historic and cultural heritage. Where development is proposed in a location which would affect the setting of the Cotswold National Landscape, it must be demonstrated that it would not adversely impact upon it.

- 5.6 These proposals are modest in scale and would be finished in materials to match those of the existing dwelling. It is therefore deemed that this proposal would not have an adverse impact upon the natural beauty or historic character of the Cotswold National Landscape. On the basis of the assessment set out above, it is not considered that the proposed development would detract from the appearance of the building or negatively impact the visual amenity of the street scene or character of the area.
- 5.7 Listed Building and Conservation Issues  
Paragraph 189 to 202 of the National Planning Policy Framework sets out how Local Planning Authorities should assess applications that impact heritage assets. Paragraph 193 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. Paragraph 196 states that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including where appropriate, securing its optimum viable use.
- 5.8 Policy CS9 of the Core Strategy and Policy PSP17 of the Policies, Sites and Places Plan seek to ensure that development within or affecting the setting of a conservation area will preserve or; where appropriate; enhance those elements which contribute to their special character or appearance; and pay particular attention to opportunities to enhance negative parts of conservation areas and to draw on local character and distinctiveness.
- 5.9 By reason of its scale, siting and the existing site context, the development proposal ensures that the existing character and appearance of the Hawkesbury Upton Conservation Area is preserved. In light of the siting and modest scale, it is not considered that the proposals would affect the setting of any designated heritage assets.
- 5.10 There is a duty placed on the Council under Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 when planning permission for any works to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. Under Section 72 of the same Act, it is the Council's duty to pay special attention to the preservation or enhancement of the character of the surrounding conservation area. It is considered that full consideration has been given to these duties and the proposal is considered acceptable in this regard.
- 5.11 Given this, it follows that the impact on the conservation area would not be to any appreciable degree that it would cause harm. As such, the character and appearance of the conservation area can be considered to be preserved and therefore no conflict with the relevant sections of the NPPF, PSP17 or CS9 would occur.
- 5.12 Taking each of the different aspects of the proposal in turn:  
The proposed single storey extension - would be viewed against the rear wall of the existing building, with ground floor walls just appearing over the existing stone boundary wall. Officers have concluded that this aspect of the proposal

will not harm the significance of the adjacent listed building, nor will it have any impact on the character and appearance of the Hawkesbury Conservation Area, and as a result of this extension, any impacts would be minimal.

- 5.13 The proposed carport – is considered that it will not impact on the setting of the adjacent listed building, or the character and appearance of Hawkesbury Conservation Area, providing that suitable materials are implemented.
- 5.14 The proposed front porch - whilst larger than the existing bracketed canopy, it has been concluded by officers that again it will not harm the setting or significance of the listed building, nor the Conservation Area.
- 5.15 The proposed garden room – the existing structure is a low-pitched structure, partially hidden by the overgrown conifers at the rear of the garden and although it will be visible over the traditional stone walls to the boundary, the position of the outbuilding has been revised slightly which is acceptable. Officers have therefore concluded that the proposed garden room, albeit a modest, single storey replacement structure, would not harm the setting of the adjacent listed building, and that such a replacement building should seek to respect the traditional character and appearance of its setting through the use of appropriate wall and roofing materials.
- 5.16 The proposed rear dormer – initially the dormer roof extension was proposed as a large, flat-roof box dormer, with a glass Juliet balcony and a solid panel of timber infill. It was considered unacceptable because it contributed a sense of over development to the host dwellinghouse, as well as introducing another large, discordant feature in an elevated position to the rear façade, that visually competed with the listed building for dominance in views from the fields and footpath to the north. Following negotiations, the form and scale of the rear dormer has been altered to facilitate a triangular dormer with tiled roof and this is considered acceptable because the use of render and stone cladding, as opposed to the zinc cladding, and it has been concluded that the use of such materials will better respect the traditional use of materials in this locality.
- 5.17 In design terms, the proposals for the porch, single storey extension, carport and garden room, are considered to be of a modest scale that will sit comfortably to the front and rear of the host dwelling respectively. As such, the impact upon the character and appearance of the conservation area and the historic setting is not considered significant, and in this instance, the level of harm would be at the lower end of the less than substantial harm spectrum. Given that there will be no resultant harm to any heritage assets, the proposal can be considered to be in compliance with requirements of the NPPF, CS9 and PSP17, subject to the application of the recommended conditions.
- 5.18 Design and Visual Amenity  
Policy CS1 of the Core Strategy and policy PSP38 of the Policies, Sites and Places Plan seek to ensure that development proposals are of the highest possible standards of design. This means that developments should be informed by, respect, and enhance the character, distinctiveness and amenity of both the site and its context.

- 5.19 The originally proposed two storey rear extension has now been omitted from the proposal, and the existing gable wall will be adapted with an oak frame and direct glazing in line with the existing rear façade, as it is considered that this is more in keeping with the rural and agricultural setting at the rear of the property and will endeavour to mitigate any harmful impacts on the adjacent locally listed building. The zinc cladding has also been omitted and a mix of stone and render is now proposed, together with the retention of the existing roof tiles.
- 5.20 The single storey rear extension, will have a maximum overall width of 7.4 meters and be to a maximum depth of 8.80 meters, providing an 'infill' to the existing original dwellinghouse. It will have a flat roof with 2No rooflights, a glass balustrade to its perimeter, and it will have an eaves height of 2.7 meters from ground level. Glazed doors to the ground floor will provide access out into the private amenity space and the rear balcony/terrace on the flat roof will be accessed from the 2No bedrooms via sliding doors and a single personnel door from the landing area.
- 5.21 The proposed porch to the front façade, will have an overall width of almost 5.0 meters and be to a depth of a little over 2.0 meters, and it will have a lean to roof, extending to 2.5 meters in height to the eaves. There will feature 1No new front entrance door and 1No floor to ceiling window, allowing much needed natural light into the dwellinghouse.
- 5.22 The proposed carport, to the rear, will be to an overall width of 5.8 meters (width of the existing garage) and to a depth of 3.78 meters. It will have a gable ended pitched roof and will extend to 2.6 meters in height to the eaves from ground level.
- 5.23 The proposed garden room (outbuilding) will be to an overall length of 6.88 meters and to a width of 3.66 meters with 1No bi-fold door, 1No patio door, and 1No personnel door. It will have a gable end pitched roof and it will extend to 2.3 meters in height to the eaves. As part of the re-design of the overall proposal, the height has been reduced by 0.70 meters, in response to comments received.
- 5.24 The rear dormer, will be 'triangular' in its form, reflecting that of the adjacent rear gable at the property and will be aligned with the windows below. It will have an overall width of 3.6 metres, with 2No windows; set down from the existing ridge by 0.75 metres, and be sited 0.5 metres above the existing eaves overlooking the balcony/terrace and private amenity space.
- 5.25 The 6No proposed Solar PV Panels will feature on the rear slope of the roof, to the rear façade, on the proposed west elevation, and will measure approximately 1.0 meter square each.
- 5.26 The proposals have been proposed through their specific designs to complement the existing dwelling. In terms of the proposed materials, details and components, the aesthetical appearance of the dwelling will continue to compliment neighbouring properties, matching materials and components to the existing dwelling where possible, and therefore the scale and form of the proposal will respect the proportions and character of the existing dwelling.



Specifics of the materials and finishes proposed are detailed on the Proposed Elevations drawing (ref 258-GA-07 Rev D)

- 5.27 In particular, a small amount of grey coloured pre-weathered cladding is proposed to the single storey extension at the back of the house and the outbuilding will feature a stone facade. All proposed roof tiles will match the existing tiles, as they will be supplied from the existing roof where the solar panels are proposed. With regards to the stonework, it is proposed to be of a coursed Cotswold rubble stone, pointed up, with the joints raked back slightly from the face featuring a mortar mix of 4:1:1 sand-Bideford grit-white Portland cement. A stone sample panel has already been erected on site.
- 5.28 The existing front and rear walls of the original dwellinghouse and the proposed extensions will have coursed natural random rubble stone facings and the side walls of the existing house will be refaced with a painted, textured render. The submitted drawings and the Design & Access Statement describe the intention for the external walls as 'coursed natural random rubble stone' with coursed cut stone approximately 75mm to 100mm deep to conceal the existing cast stone detailing. The eaves stones will be removed and the verges will be extended slightly to maintain a small overhang with new stone built up to the existing eaves with a remaining overhang. The doors and windows proposed will be of a grey polyester powder coated aluminium double glazing (please see the submitted window surrounds plan for information).
- 5.29 Although the original dwellinghouse sits reasonably comfortably in the street scene having been there for some time, the existing cast stone walls and roof tiles are slightly at odds with the natural materials found on the nearby traditional buildings and may not be acceptable by standards today. Therefore, officers have concluded that although the proposal includes the upgrade of the appearance of the original dwellinghouse and replaces the artificial materials with new high quality facings, that they will improve the overall appearance of the host dwellinghouse, that can be glimpsed from the existing street scene on Back Street and from the public right of way around the curtilage.
- 5.30 In conclusion of design terms, the proposals for the porch, single storey extension, carport and garden room, are considered to be of a modest scale that will sit comfortably to the front and rear of the host dwelling respectively. Whilst officers consider the design acceptable, it would be prudent to condition the need for stonework and render sample panels to ensure that the proposed extensions successfully assimilate their appearance with the host dwellinghouse. In summary, officers are satisfied that these extensions are suitably designed so as to not harm the character of the host dwelling and that they will be unable to present any material impact on the street scene, and therefore the proposal is considered to be in compliance with the requirements of CS1 and PSP38.
- 5.31 Residential Amenity  
Policy PSP38 of the Policies, Sites and Places Plan explains that development will be permitted provided that it would not detrimentally impact the residential amenities of nearby occupiers and would not prejudice the retention of adequate private amenity space. Policy PSP8 specifically relates to impacts on

- residential amenity and outlines that unacceptable impacts could result from (but are not restricted to); loss of privacy and overlooking; overbearing and dominant impact; loss of light; noise or disturbance; and odours, fumes or vibration.
- 5.32 Given the position of the extensions and their scale, officers are satisfied that any impacts will be minimal. With the majority of the proposal to the rear elevation, and given their siting and orientation to the host dwellinghouse, it is not considered that the development proposal would result in any unacceptable impacts on the amenity of its neighbours.
- 5.33 Transport  
Policy PSP16 of the Policies, Sites and Places Plan sets out the Councils parking standards. There are no highways or transportation comments about this planning application and consequently, its compliance with the councils minimum residential car park standards set out in the Residential Parking Standards SPD and the locational requirements of Policy PSP11 of the adopted South Gloucestershire Local Plan: Policies, Sites and Places, raises no objections on the grounds of parking.
- 5.34 Private Amenity Space  
The dwelling benefits from a good amount of existing private amenity space to the property. PSP43 sets out standards which are based on the number of bedrooms at a property. No concern is raised on the level of amenity space being proposed.
- 5.35 Arboricultural Issues  
The proposal would see the removal of poor quality trees and supporting arboricultural information has been presented to show that retained trees will be afforded adequate protection. Therefore there is no objection to the proposal, subject to full compliance with the submitted Arboricultural Report and Tree Protection Plan.
- 5.36 Consideration of likely impact on Equalities  
The Equality Act 2010 legally protects people from discrimination in the workplace and in wider society; it sets out the different ways in which it is unlawful to treat someone. As a result of this Act the public sector equality duty came into force. Among other things those subject to the equality duty must have due regard to: eliminate unlawful discrimination, harassment and victimisation; advance equality of opportunity and foster good relations between people who share a protected characteristic and those who do not. The general equality duty therefore requires organisations to consider how they could positively contribute to the advancement of equality and good relations. It requires equality considerations to be reflected into the design of policies and the delivery of services.
- 5.37 With regards to the above this planning application it is considered to have a neutral impact on equality.

## 6. CONCLUSION

- 6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.
- 6.2 The recommendation to grant permission has been taken having regard to the policies and proposals in the development plan set out above, and to all the relevant material considerations set out in the report.

## 7. RECOMMENDATION

- 7.1 That the application be **APPROVED**.

### CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

#### Reason

To comply with the requirements of Section 91 of the Town & Country Planning Act 1990 (as amended).

2. Sample panels of stone cladding and stonework, demonstrating the coursing, jointing and pointing are to be erected on site and approved in writing by the Local Planning Authority before the relevant parts of the work are commenced. The approved sample panels shall be kept on site for reference until the stonework and cladding are complete. Development shall be carried out in accordance with the agreed sample.

#### Reason

To ensure a satisfactory standard of external appearance and to accord with Policy CS1 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013; and the National Planning Policy Framework.

3. A sample panel of the render indicating colour, texture and finish shall be erected on site and approved in writing by the Local Planning Authority before the relevant parts of the work are commenced. The approved sample panel shall be kept on site for reference until the development is complete. Development shall be carried out in accordance with the agreed sample.

#### Reason

To ensure a satisfactory standard of external appearance and to accord with Policy CS1 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013; and the National Planning Policy Framework.

4. The materials to be used in the construction of the Garden Room/Outbuilding hereby permitted shall match those used in the existing host dwellinghouse and as detailed on the submitted drawing GA-07 Rev D Proposed Elevations.

Reason

To ensure a satisfactory standard of external appearance and to accord with Policy CS1 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013; and the National Planning Policy Framework.

5. The development/works hereby permitted shall only be implemented in accordance with the plans as set out in the plans list below:

GA-01 Rev A Location Plan and Block Plan (Date received 12/05/21)

GA-02 Rev A Existing Site Plan (Date received 13/05/21)

GA-03 Rev B Proposed Site Plan (Date received 27/05/21)

GA-04 Rev A Existing Plans (Date received 27/05/21)

GA-05 Existing Elevations (Date received 29/03/21)

GA-06 Rev A Proposed Floor Plans (Date received 12/05/21)

GA-07 Rev D Proposed Elevations (Date received 16/06/21)

260-100 Window Details (Date received 22/06/21)

260-101 Dormer Details (Date received 22/06/21)

260-102 Verge and Eaves Details (Date received 22/06/21)

Window Surrounds plan (Date received 23/06/21)

Coursed Natural Random Rubble Stonework Sample Panel Photo (Date received 17/04/21)

Painted textured Render Sample Panel Photo (Date received 08/04/21)

Design and Access and Statement of Significance (Date received 08/04/21)

Arboricultural Report (Date received 08/04/21)

Reason

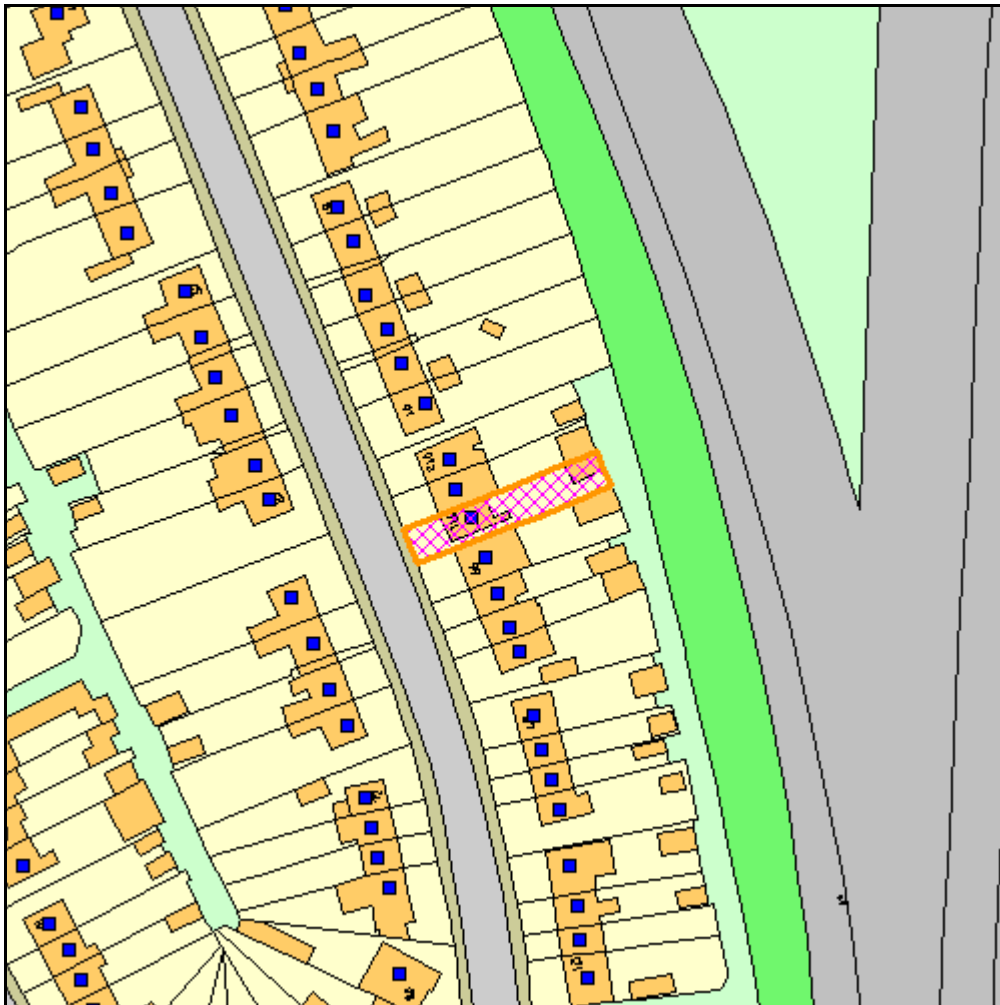
To define the terms and extent of the permission.

**Case Officer: Helen Turner**

**Authorising Officer: David Stockdale**

**CIRCULATED SCHEDULE NO. 26/21 -2nd July 2021**

<b>App No.:</b>	P21/02429/F	<b>Applicant:</b>	Mr Kashif Rashid
<b>Site:</b>	97C Conygre Grove Filton South Gloucestershire BS34 7DW	<b>Date Reg:</b>	1st April 2021
<b>Proposal:</b>	Erection of front porch. Erection of a single storey rear extension to form additional living accommodation and installation of hip to gable roof extension and 1 no. rear dormer to facilitate loft conversion. Erection of single storey detached double garage.	<b>Parish:</b>	Filton Town Council
<b>Map Ref:</b>	361076 179394	<b>Ward:</b>	Filton
<b>Application Category:</b>	Householder	<b>Target Date:</b>	25th May 2021



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P21/02429/F

South Gloucestershire Councillors have five working days from date of publication to consider whether items appearing on the Circulated Schedule should be referred to the Development Management or Strategic Sites Delivery Committees for determination.

## **REASON FOR REFERRING TO THE CIRCULATED SCHEDULE**

This application appears on the Circulated Schedule because a representation has been received from a local member, which raises concerns and could be construed an objection.

### **1. THE PROPOSAL**

- 1.1 The application seeks full planning permission for the erection of a front porch, single storey rear extension and a detached double garage. The proposal also includes a hip to gable roof extension and a rear dormer.
- 1.2 The application site is an end terrace property in the North Fringe of Bristol Urban Area.
- 1.3 During the application's consideration, revised plans have been received. This included changing the initially proposed 'garden room' to a garage and amending the development description to reflect this. A period of public re-consultation was carried out following this change.

### **2. POLICY CONTEXT**

#### 2.1 National Guidance

National Planning Policy Framework February 2019  
National Planning Practice Guidance

#### 2.2 Development Plans

##### South Gloucestershire Local Plan Core Strategy Adopted December 2013

CS1	High Quality Design
CS4A	Presumption in Favour of Sustainable Development
CS5	Location of Development
CS8	Improving Accessibility
CS25	Communities of the North Fringe of Bristol

##### South Gloucestershire Local Plan Policies Sites and Places Plan Adopted November 2017

PSP1	Local Distinctiveness
PSP8	Residential Amenity
PSP11	Transport Impact Management
PSP16	Parking Standards
PSP38	Development within Existing Residential Curtilages
PSP43	Private Amenity Space Standards

#### 2.3 Supplementary Planning Guidance

Design Checklist SPD (Adopted) August 2007

Householder Design Guide SPD (Adopted) March 2021  
Residential Parking Standard SPD (Adopted) December 2013

### 3. **RELEVANT PLANNING HISTORY**

None.

### 4. **CONSULTATION RESPONSES**

#### 4.1 Filton Town Council

No comments have been received

#### 4.2 Stoke Gifford Parish Council

No comments have been received

#### 4.3 DC Transport

*Initial response*

Further information is required

*Updated response*

No objection, subject to condition restricting use of garage

#### 4.4 Local Member

Councillor Chris Wood raises concerns regarding the size of the garden room, overdevelopment of the site, reduced parking, impacts on access along rear lane, potential amendments to drainage and sewage. Submits that all works should be completed to a high standard if granted.

#### 4.5 Local Residents

1no. representation objecting to the proposal has been received. Points of objection summarised as follows:

- Garden room is a thinly disguised bungalow for future HMO use
- Overlooking
- Out of keeping/incongruous
- Query garden room facilities (bathroom)
- Rear access is unpaved garden lane
- Gap between dormer cheeks will not leave enough room for maintenance of boiler vent
- No mention of soakaway
- Block wall plan does not follow structural pillars
- Building control should pay close attention to standard of works
- Existing building works of poor standard and does not meet building regulations
- Works should be constrained to working hours

### 5. **ANALYSIS OF PROPOSAL**

- 5.1 The proposal seeks to erect a front porch, single storey rear extension, 1no. rear dormer, hip to gable roof extension and a single storey detached garage.

## 5.2 Principle Of Development

PSP38 of the South Gloucestershire Council Policies, Sites and Places Plan (adopted November 2017) permits development within existing residential curtilages (including extensions) in principle where they do not unduly harm the design, visual amenity and residential amenity of the locality or prejudice highway safety or the provision of adequate private amenity space. PSP38 is achieved through CS1 of the South Gloucestershire Council Core Strategy (adopted December 2013), which requires development to demonstrate the highest standards of design and site planning by demonstrating that siting, form, scale, height, massing, detailing colour and materials are informed by, respect and enhance the character, distinctiveness and amenity of both the site and its context. Additional guidance on achieving good design for householder developments is set out in the Household Design Guide supplementary planning document (SPD), which was formally adopted in March 2021. The development is acceptable in principle, subject to the following detailed consideration.

## 5.3 Design and Visual Amenity

The host property has rendered elevations with a hipped roof and double bay window to the front. Access is to the front on to Conygre Grove and to the rear where there is an existing garage, served by a private access lane.

### *Rear Extension, Porch and Outbuilding*

5.4 The rear extension would have a depth of c.5 metres and height of c.3.6 metres. The roof would have a slight (c.7 degree) pitch and would be a GRP roof system. The porch would be c.1.5 metres deep, 2 metres wide and 3.5 metres high. The garage would be c.4.1 metres high, 2.6 metres to the eaves, 6.6 metres deep and 6.8 metres wide. The roof would be pitched with side facing gables. A garage type door would face the rear access lane and it would have a set of double and a single door facing the rear garden of the host property.

5.5 The rear extension is a modest addition that is in accordance with the maximum depth parameters set out in the household design SPD and is of a simple and relatively standard design that would not appear out of keeping within its domestic setting. The porch is a small addition to the front elevation that would appear in proportion and in keeping with similar porches along Conygre Grove and in accordance with the design guidance for porches in the HH design SPD. The garage outbuilding would be of similar depth to other outbuildings along the rear of neighbouring properties and is of a scale that appears appropriately subordinate to the host property and in keeping with its incidental character. Overall, officers do not consider there to be any material design grounds to resist the garage, rear extension or porch and it is not considered that these elements would constitute overdevelopment of the plot. Accordingly, these three elements of the proposal can be considered broadly in accordance with CS1, PSP38 and the householder design guide SPD and should be approved.

### *Rear Dormer and Hip/Gable alteration*

5.6 The proposal would see the existing hipped roof 'gabled off' and a large rear box dormer added, which would have a height of c.2.5 metres, depth (at roof)



- of c.4.1 metres and width of c.5.5 metres. To the rear of the dormer would be a Juliet balcony.
- 5.7 At present, the terrace that 97C is situated on has hip ends on either side, and hipped roofs are the prevailing roof form in the immediate setting of the property (though officers acknowledge that some roofs have already been gabled off). It is noted in the Household Design Guide SPD in 2.5 that the roof of a dwelling has a major impact on the character of the building and performs an important role within the wider street scene. It goes on to say that materially changing the form (including 'gabling off') will not normally be permitted where planning permission is required. In this case, the dormer and the hip to gable extension would exceed the volume limitation set out in the permitted development order.
- 5.8 The introduction of a hipped roof would visually unbalance the current 3 property terrace and would further disrupt the prevailing rhythm of the roof forms in the area and would be to the detriment of the character and visual amenity of the street scene and host property, ultimately having a materially harmful impact on both.
- 5.9 Box dormers are also addressed in the householder SPD, which submits that flat roofed box dormers are not normally considered appropriate when planning permission is required. This is because they rarely represent good design and seldom comply with the requirements of both the SPD and CS1/PSP38.
- 5.10 In this case, the dormer would introduce an oversized addition to the rear roof slope that appears out of keeping with the form and massing of the host property and existing roof structure. Whilst the impact would be most appreciable from the rear, the Southern dormer cheek being positioned on top of the rear and side wall heads means that the massing to the side gives the impression more of a second floor, as opposed to a suitably in keeping and in proportion roof extension. This would be able to be glimpsed from the public realm, but even whilst the visual impact to the front would be less severe with respect to the dormer, it would still harm the character and appearance of the host property and would be contrary to adopted design policies PSP38, CS1 and the Household Design Guide SPD. Accordingly, the proposed rear dormer and hip to gable alteration should be refused on design grounds.
- 5.11 Residential Amenity  
PSP8 permits development where it does not prejudice the residential amenity of both occupiers of the development and of neighbouring dwellings through the creation of unacceptable impacts. Such unacceptable impacts include loss of privacy, overlooking, loss of light, loss of outlook and overbearing/dominant impacts.
- 5.12 The depth of the rear extension is such that it complies with the parameters set within the Household Design SPD of being no more than 5 metres in depth, which aims to mitigate overbearing and overshadowing issues (and impacts on outlook). Furthermore, the presence of a neighbouring lean-to structure further mitigates any overbearing, overshadowing or outlook concerns. The rear

- dormer and hip/gable being where they are situated do not present any concerns of overbearing, overshadowing or impacts on outlook.
- 5.13 The proposed garage would be in line with other rear outbuildings and by reason of its size, does not present any overbearing or overshadowing concerns. Overlooking would be increased by the rear dormer, but this would not be beyond what could be expected and is common in an urban area. The garage would allow some overlooking to the rear of the host property. However, the relatively flat ground level, single storey nature of the outbuilding and its incidental nature mean officers do not consider there to be any material overlooking issues, should permission be granted.
- 5.14 Parking Standards  
PSP16 requires developments to provide levels of parking based upon the number of bedrooms at a dwelling. Where an increase is proposed, proposals should demonstrate that adequate off-street parking can be provided to accommodate increase in demand.
- 5.15 The existing property has 3 bedrooms, which requires 2no. parking spaces in order to comply with PSP16. At present, there are 2no. parking spaces on the frontage of the property. As proposed, the number of bedrooms would remain as existing, albeit they would be bigger by reason of the additional habitable space in the loft conversion. Nevertheless, 2no. spaces would still be required.
- 5.16 However, 1no. space to the front would be lost by reason of the porch, which would mean the remaining space in front of the porch would be too short to be considered a parking space in policy terms. The loss of 1no. parking space is proposed to be offset by the addition of the proposed garage, which would meet the PSP16 standard for a double garage, in terms of internal dimensions.
- 5.17 Access to the garage is via an unmade access lane which runs to the rear, serving existing garages. Having visited the site, officers note that the access lane is to a degree overgrown in places with grass, but is ultimately accessible from the highway and indeed serves a number of existing garages, including the existing garage at no.97C. This arrangement has been reviewed by and is considered satisfactory by the highways officer. An appropriately worded condition should be applied, should permission be granted, to require the retention of the garage for parking, to ensure that the property retains a satisfactory level of parking. This would be required irrespective of the part refusal for the loft conversion because the property would still have 3 bedrooms and would still lose 1no. parking space to the front due to the addition of the porch, which is recommended for approval.
- 5.18 Private Amenity Space  
As a 3-bed property (irrespective of whether the loft conversion is approved), the property should ideally benefit from 60sqm private amenity space, as set out in PSP43. It is estimated that the extension to the rear and the outbuilding would result in a private amenity space of c.55sqm. Whilst this is a 5sqm deficit, the remaining amenity space would be sufficiently useable and of sufficient quality and it is not considered that a refusal could be sustained on a 5sqm deficit of private amenity space in this instance.

## Impact on Equalities

- 5.19 The Equality Act 2010 legally protects people from discrimination in the workplace and in wider society; it sets out the different ways in which it is unlawful to treat someone. As a result of this Act the public sector equality duty came into force. Among other things those subject to the equality duty must have due regard to: eliminate unlawful discrimination, harassment and victimisation; advance equality of opportunity and foster good relations between people who share a protected characteristic and those who do not. The general equality duty therefore requires organisations to consider how they could positively contribute to the advancement of equality and good relations. It requires equality considerations to be reflected into the design of policies and the delivery of services.
- 5.20 With regards to the above this planning application is considered to have a neutral impact on equality.
- 5.21 Other Matters  
A number of matters raised from the consultation responses have not been addressed in the main body of this report. These will be considered below.
- 5.22 Suspicion about future use (bungalow, HMO or otherwise) would not constitute a valid reason to refuse permission. Should the outbuilding be used as an independent dwelling (for example) without the necessary planning consent, this could be liable for enforcement action.
- 5.23 At all stages, works would need to comply with the relevant building regulations. Any breach would be a matter for building control and a grant of planning permission does not constitute approval under building regulations. Past building works cannot be used as grounds to withhold planning permission. An appropriately worded informative to the above effect should be applied to any consent. Structural information is not expected on planning drawings, this would be expected at the building regulations stage.
- 5.24 Surface water drainage is a planning consideration. However, a domestic proposal of this scale would not be expected to indicate soakaway provision, as this matter would also be appropriately addressed through building control. Impacts on the foul sewer are not material to the determination of this application, and would be addressed through building control/with the relevant foul sewage undertaker (Wessex Water)
- 5.25 Future maintenance and the location of a neighbouring boiler flue are not material to the determination of a planning application.

## 6. CONCLUSION

- 6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.

6.2 The recommendation to **issue a split decision** has been taken having regard to the policies and proposals in the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the South Gloucestershire Local Plan: Policies, Sites and Places Plan (Adopted) November 2017 set out above, and to all the relevant material considerations set out in the report.

## 7. **RECOMMENDATION**

7.1 It is recommended that a **SPLIT-DECISION** is issued as follows:

The installation of a hip to gable roof extension and 1no. rear dormer is **REFUSED** for the following reason:

The proposed flat roof 'box' rear dormer and hip to gable alteration would, by reason of their form, scale and massing, introduce an unbalancing affect to the roof of the terrace of properties by introducing an alien gabled roof form and the rear dormer would introduce an oversized addition to the rear roof slope which would appear out of keeping with the form and massing of the host property and it's existing roof form. This is further exacerbated by the removal of the roof verge and the continuation of the side elevation first floor wall up to the dormer cheek, with no visual break in the massing. These two elements would therefore introduce a discordant and incongruous addition that would have a harmful impact on both character and visual amenity of the area and host property, contrary to CS1 of the South Gloucestershire Local Plan: Core Strategy (Adopted December 2013); PSP1 and PSP38 of the South Gloucestershire Local Plan (Policies Sites and Places Plan (Adopted November 2017); the Householder Design Guide SPD (Adopted March 2021) and the relevant sections of the National Planning Policy Framework.

-and-

The erection of a front porch, single storey rear extension and single storey detached double garage are **APPROVED**, subject to the following conditions:

### **CONDITIONS**

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

To comply with the requirements of Section 91 of the Town & Country Planning Act 1990 (as amended).

2. The garage hereby approved shall only be used for the purpose of garaging motor vehicles associated with the property known as 97C Conygre Grove, BS34 7DW, and for other ancillary domestic storage purposes.

Reason

In the interest of ensuring that the property retains a satisfactory level of parking following the loss of parking on the frontage in accordance with PSP16 of the South

Gloucestershire Local Plan: Policies Sites and Places Plan (Adopted) November 2017.

3. The development shall be implemented in accordance with the following plans:

Site location plan

1763-02 - Existing plans

1763-03 - Existing elevations and sections

As received 30th March 2021

1763-01 C - Block plan

1763-04 C - Combined proposed plans

1763-06 C - Proposed garage plans, elevations and section

As received 9th June 2021

1763-05 C - Proposed elevations and section

As received 30th June 2021

Reason

For the avoidance of doubt and to define the exact terms of the permission

1. The proposed flat roof 'box' rear dormer and hip to gable alteration would, by reason of their form, scale and massing, introduce an unbalancing affect to the roof of the terrace of properties by introducing an alien gabled roof form and the rear dormer would introduce an oversized addition to the rear roof slope which would appear out of keeping with the form and massing of the host property and it's existing roof form. This is further exacerbated by the removal of the roof verge and the continuation of the side elevation first floor wall up to the dormer cheek, with no visual break in the massing. These two elements would therefore introduce a discordant and incongruous addition that would have a harmful impact on both character and visual amenity of the area and host property, contrary to CS1 of the South Gloucestershire Local Plan: Core Strategy (Adopted December 2013); PSP1 and PSP38 of the South Gloucestershire Local Plan (Policies Sites and Places Plan (Adopted November 2017); the Householder Design Guide SPD (Adopted March 2021) and the relevant sections of the National Planning Policy Framework.

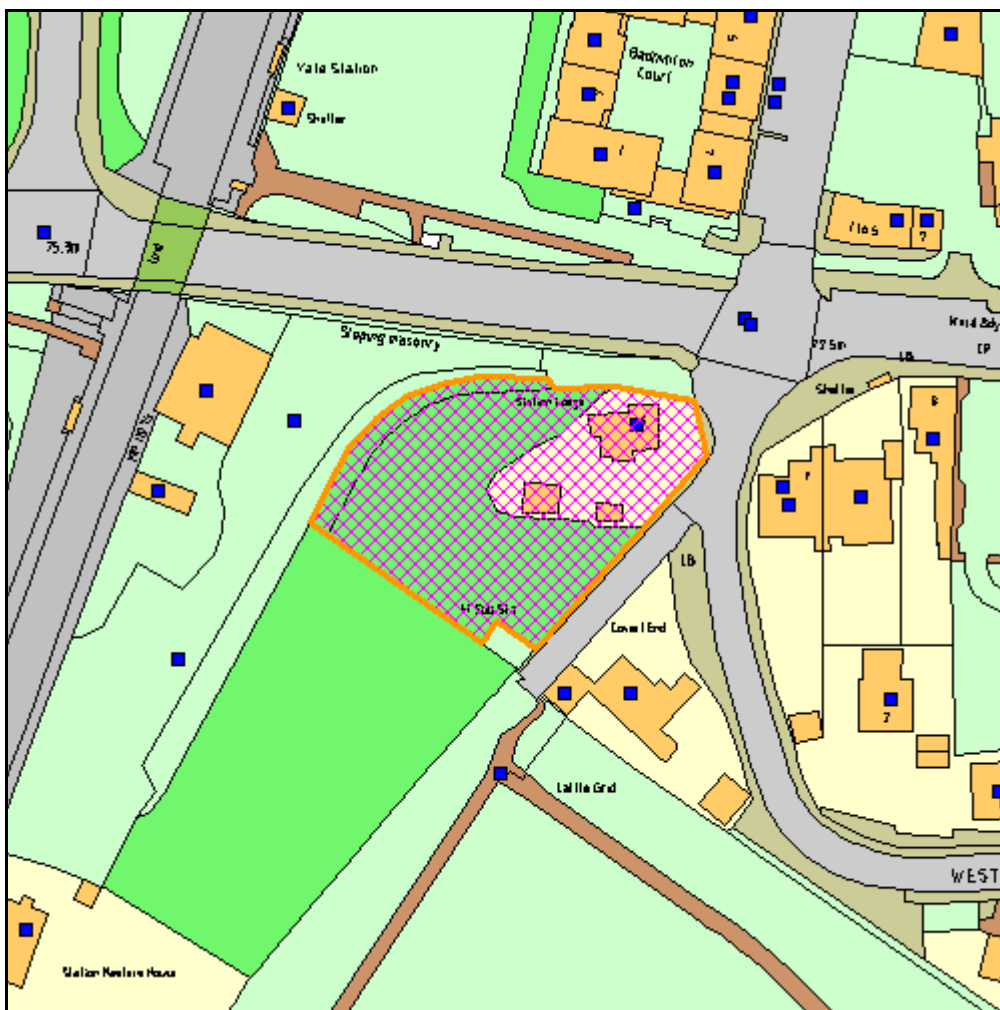
**Case Officer: Alex Hemming**

**Authorising Officer: Marie Bath**

## CIRCULATED SCHEDULE NO. 26/21 -2nd July 2021

<b>App No.:</b> P21/02531/F	<b>Applicant:</b> Bristol Fire
<b>Site:</b> Station Lodge 2 Station Road Yate South Gloucestershire BS37 4PS	<b>Date Reg:</b> 20th April 2021
<b>Proposal:</b> Erection of 2no. detached self-build dwellings with 2no. detached garages and associated works (resubmission of P20/05302/F).	<b>Parish:</b> Yate Town Council
<b>Map Ref:</b> 370187 182511	<b>Ward:</b> Yate Central
<b>Application Category:</b> Minor	<b>Target Date:</b> 11th June 2021

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 100023410, 2008. N.T.S. P21/02531/F

South Gloucestershire Councillors have five working days from date of publication to consider whether items appearing on the Circulated Schedule should be referred to the Development Management or Strategic Sites Delivery Committees for determination.

## **INTRODUCTION**

This application appears on the Circulated Schedule as a result of comments received, from the Town Council, contrary to Officer recommendation.

## **1. THE PROPOSAL**

- 1.1 The application is for the erection of 2no. detached self-build dwellings with 2no. detached garages and associated works. The application is essentially a resubmission of P20/05302/F which for the erection of 2 no. detached dwellings and 1 no. detached bungalow with new garage, garage block and associated works.
- 1.2 The site is Station Lodge, Station Road, Yate, set to the south of the Station Road bridge and on the eastern side of the railway line. The 19<sup>th</sup> century road bridge over the line is locally listed; the Station Lodge is also locally listed; the raised footway down to the station is also locally listed and so is the Station Master's house further to the south. The brick built railway goods shed to the west of the Lodge and immediately to the south of the bridge is Grade II listed. The site is within the Yate settlement boundary.
- 1.3 An arboricultural report, ecological assessment report, heritage statement and noise and vibration assessment have been submitted with the application.
- 1.4 Revised plans have been received during the course of the consideration of the application, on the basis of Conservation concerns raised. These plans have been reconsulted.

## **2. POLICY CONTEXT**

- 2.1 National Guidance  
National Planning Policy Framework  
National Planning Policy Guidance

- 2.2 Development Plans

South Gloucestershire Local Plan Core Strategy Adopted December 2013

CS1 High Quality Design  
CS8 Improving Accessibility  
CS9 Managing the Environment and Heritage  
CS16 Housing Density  
CS17 Housing Diversity

South Gloucestershire Local Plan: Policies, Sites and Places Plan Adopted November 2017

PSP3 Trees and Woodland  
PSP8 Residential Amenity  
PSP16 Parking Standards

PSP17 Heritage Assets and the Historic Environment  
 PSP18 Wildlife Sites  
 PSP19 Wider Biodiversity  
 PSP38 Development in Residential Curtilages, Including Extensions and New Dwellings  
 PSP43 Private Amenity Space Standards

### 2.3 Supplementary Planning Guidance

South Gloucestershire Design Checklist SPD (Adopted) 2007  
 South Gloucestershire Council - Residential Parking Standards  
 South Gloucestershire Householder Design Guidance (Adopted 2021)  
 South Gloucestershire Local List SPD

## 3. RELEVANT PLANNING HISTORY

- 3.1 P20/05302/F - Erection of 2no. Detached dwellings and 1no. detached bungalow with new garage, garage block and associated works. Refused 01.07.2020.

*By reasons of siting, layout, scale and design, the proposed development would be harmful to the characteristics of the surrounding area, which comprises an historic station on Station Road, one of few areas of historic interest in the immediate locality. Accordingly, the proposals would neither conserve nor enhance the significance of a designated heritage asset - the Grade II good shed. The proposals would also result in the unreasonable loss of existing setting to the locally listed lodge and raised footpath to a degree that would be harmful to the significance of these non-designated heritage assets. Therefore the proposed scheme would be harmful to the setting and significance of the Grade II listed building and the other heritage assets, contrary to Policies Policy CS1 and Policy CS9 of the South Gloucestershire Local Plan Core Strategy (Adopted December 2013), PSP17 of the South Gloucestershire Local Plan: Policies, Sites and Plan Development Plan Document (Adopted November 2017) and the provisions of the NPPF.*

*The application fails to fully address the potential impacts upon protected Species contrary to Policy PSP19 of the South Gloucestershire Local Plan: Policies, Sites and Places Plan Adopted November 2017.*

## 4. CONSULTATION RESPONSES

### 4.1 Yate Town Council

We repeat our earlier objections - the foot print of these buildings and stand alone garage blocks is seriously detrimental to the woodland scene. The design of the buildings is completely out of character with the setting of the important listed buildings. The Brunel shed is part of the line Brunel was actively involved in designing and construction and the carefully preserved turntable makes it a significant site. The station yard still has the raised walkway for people to access the station, and of course the Lodge. These are all in the local vernacular stone and it is essential that any new build should be done in that stone and any boundaries on the west and northern sides of the site should be retained as currently they are in vernacular



stone, not timber or brick.

*Following reconsultation additional comments were subsequently received:*

Objection: We repeat our earlier objections and in addition there is concern that it will adversely impact the implementation of the master plan vision on the adjoining railway site. This site is a crucial one in relation to the master plan and it would be premature to grant residential consents which will give rise to overlooking with a layout which might then constrain the ability to deliver the masterplan vision.

The foot print of these buildings and stand alone garage blocks is seriously detrimental to the woodland scene.

The design of the buildings is completely out of character with the setting of the important listed buildings. The Brunel shed is part of the line Brunel was actively involved in designing and construction and the carefully preserved turntable makes it a significant site. The station yard still has the raised walkway for people to access the station, and of course the Lodge. These are all in the local vernacular stone and it is essential that any new build should be done in that stone and any boundaries on the west and northern sides of the site should be retained as currently they are in vernacular stone, not timber or brick.

#### Listed Buildings and Conservation Officer

Compared to the previous scheme this is a remarkable improvement in design quality which I would agree has addressed a number of the concerns previously raised. What I am not convinced about however is the scale form, as while the overall approach is an interesting one of an acceptable level, the eastern front/side wings to both units give them a massing much greater than they perhaps need or should be and in the north facing strip elevations, they do appear greater in scale and massing than the modestly proportioned host building. The width of the front side wings although appears to be of the same width as what might be considered to be the main part of the house and so the proportions are not quite right. Breaking the buildings down into a number of elements is however a good idea in my view and so I would not suggest by any means we go back to the more standardised approach previously proposed of simple buildings with a simple rectangular footprint.

While pushing the eastern wing back towards the rear of the dwelling for example could help reduce the prominence of the side wing from the key views to the north, a reduction in the width really should be considered in my view although there does appear to be a number of potential options to in effect reposition to accommodation potentially lost elsewhere on the building. I would also suggest than any revision doesn't need to be consistent across both units, for as long as they share the same language it doesn't mean that they should mirror each other exactly.

For completeness, I would agree with the materials proposed in principle and subject to approval of sample details and subject to the resolution of the scale

issue above, the impact on the setting of the grade II listed Goods Shed could be acceptable, as while the proposals will result in a degree of change, the change would not be one that would be considered harmful to its significance.

*Revised Plans and Information have subsequently been received and these and their assessment are discussed in more detail in the relevant section below.*

#### Environmental Protection

The D&A statement and acoustic report addresses the noise and vibration issues and properly assesses the impact of the nearby road and rail noise sources including the existing nearby car wash which produces intermittent intrusive noise.

Due to layout of habitable rooms, appropriate double glazing with trickle vents the internal noise levels meet the criteria; the proposed screened garden layout external noise levels meet the criteria

#### Highways Structures

No comment

#### Lead Local Flood Authority

No objection in principle

#### Tree Officer

No objections in principle

#### Sustainable Transport

No objection

#### Public Rights of Way

There is a public right of way (footpath LYA 91) running down the centre of the lane to the south east boundary of the application site. The proposal adds two houses and an additional vehicular access to serve them which will exit onto this lane/footpath. The proposal would be unlikely to affect the PROW footpath but the developer should be made aware of any limitations, particularly with regards to not obstructing the footpath during works and ensuring the safety of the public using the path.

#### Ecology

An ecological assessment has been submitted with the application. No designated sites will be impacted by the proposals. Updated ecological information was received. There are no objections on this basis.

#### Archaeology

No comments

#### Network Rail

Network Rail has no objection in principle to the above proposal but due to the proposal being next to Network Rail land and our infrastructure and to ensure that no part of the development adversely impacts the safety, operation and

integrity of the operational railway we have included comments relating to drainage and access to the railway, which the applicant is strongly recommended to action should the proposal be granted planning permission.

Health and Safety Executive

Does not advise against the application on safety grounds

**Other Representations**

4.3 Local Residents

No comments received

**5. ANALYSIS OF PROPOSAL**

5.1 Principle of Development

The NPPF emphasis is on sustainable growth, including boosting housing supply and building including through windfall development, except where the adverse impacts of doing so would significantly and demonstrably outweigh the benefits when assessed against the policy framework.

PSP38 establishes that new residential development on sites within the urban area and the curtilage of dwellings are acceptable in principle, subject to the proposal satisfying other material considerations, such as density, design, residential amenity, and highway safety. Policies CS16 and CS17 of the Core Strategy seek to achieve an efficient use of land, maximise housing supplied at locations where there is good pedestrian access to frequent public transport services, and provide a mix of housing types. In this instance there are also additional key criteria and considerations associated with the sites proximity to heritage assets and the woodland that need to be addressed.

5.2 Heritage Impact/Design Issues

Set to the south of the Station Road bridge and on the eastern side of the railway line are a group of buildings and structures that are the remnants of the historic Yate station. The 19<sup>th</sup> century road bridge over the line is locally listed; the contemporary Station Lodge is also locally listed; the raised footway down to the station (now closed) is also locally listed and so is the Station Master's house further to the south. The brick built railway goods shed to the west of the Lodge and immediately to the south of the bridge is Grade II listed. While the subdivision of the site is apparent with the existing boundary treatment and existing car wash separating off the Station Master's House to the south, the historic approach to the station remains intact, of which Station Lodge makes a positive and material contribution. Moreover, there is a clear group value to these historic buildings and structures associated with the railway that can be considered to also contribute to the individual settings of these designated and non-designated heritage assets. The proposals should therefore be assessed in accordance with the relevant policies and guidance which seek to protect the significance of designated and non- heritage assets and their settings.

5.3 Recent developments in-and-around this part of the former station can be considered to have cumulatively diminished the historic interest of the site to a degree. While a functional/ industrial character is to be expected for a former

good yards, the car wash business and storage of containers have not been positive changes and the boundary treatment to the Station Master's House has resulted in a degree of visual separation from the rest of the site. The concerns and issues raised on previously proposals are noted and one of the considerations is therefore whether these have been addressed.

- 5.4 The comments and concerns above are noted. The Yate Masterplan referred to is at early consultation stages and provides a series of options, this would carry little weight at this stage. Further to this it does not prevent other planning considerations in the meantime on applications made to the Council. The site is wholly on land to the rear and side of Station Lodge, the woodland area to the south does not form part of the site. The previous proposals were considered to represent disparate infill development which served to exacerbate any diminishment of the setting. The materials and traditional style were noted, but this along with the rather contrived orientation did nothing to mitigate for the visually intrusive nature of the development on the existing character of the site. The new dwellings proposed take more design merits from the existing Station Lodge, to provide a more sympathetic scheme. Compared to the previous scheme the current proposals are considered to be a significant improvement including the layout and design. The design is a much less standardise solution. One less unit is also proposed. Certain reservations did however remain with regards to the scale and proportion of certain aspects of the detailed design. Further to these issues being raised, revised plans were received seeking to address these design issues.
- 5.5 The revised plans illustrate front (north) side wings set back further helping to further reduce the perceived massing of the overall building from one of the key elevations to the north. The new buildings are also staggered back from the north elevation of the host dwelling, Station Lodge, reducing their impact and perception within the wider area. The pedestrian access is locally listed and will remain, along with any boundary treatments. Newer boundaries, between and amongst the dwellings will be of brick. The proposals are off the boundaries and set well within the plot. Trees will be retained around the site and additional planting has also been proposed which will further contribute to the setting, screening and a buffer to the site.
- 5.6 The materials proposed, a mix of brick, render and slate tiles, are considered to be acceptable in principle and subject to approval of sample details, the impact on the setting of the grade II listed Goods Shed could be acceptable, as while the proposals will result in a degree of change, the change would not be one that would be considered harmful to its significance.
- 5.7 There is a duty placed on the Council under Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 when planning permission for any works to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. Under Section 72 of the same Act, it is the Council's duty to pay special attention to the preservation or enhancement of the character of the surrounding conservation area. It is considered that full consideration has been given to these duties and the proposal is considered acceptable in this regard.

### 5.8 Trees/Woodland

The comments above are noted. The proposals would remain within the confines of the application plot. There are no objections in principle provided that all proposed works are carried out in strict accordance with the submitted Arboricultural report and BS:5837:2012.

### 5.9 Ecology

The site is not subject to any formal designations. The previous Ecology survey required updating and an updated preliminary ecological appraisal is required, this is also to address previous comments (P20/05302/F) relating to impacts to great crested newts and dormice. The survey is also to provide an updated assessment on the building impacted by the works. If potential is found, emergence /re-entry surveys are to be undertaken in line with the Bat Conservation Trust (BCT) guidelines, if bats are found to be roosting within the structure a total minimum of three emergence/re-entry surveys are to be undertaken to inform mitigation and a European Protected Species License (EPSL).

- 5.10 Updated surveys and updated information was subsequently received. The updated survey confirmed that the garage still provided negligible potential for roosting bats. The habitat surrounding the site provides suitable foraging habitat, therefore a sensitive lighting scheme is required. There are limited areas on site suitable for great crested newts, with better quality habitat surrounding the site. Due to the habitat and the distance of the ponds it is considered unlikely that GCN will be present, however suitable mitigation has been recommended and this is welcomed. The updated surveys has found that the site is of relatively low ecological value and there is no further need for surveys and appropriate mitigation has been recommended, therefore there are no further objections. Conditions are recommended securing compliance with the appraisal and mitigation measures proposed.

### 5.11 Local Amenity

Given the location and orientation of the proposals and their relationship and distance the nearest residential properties, it is not considered that there would be any significant issues by way of overbearing impact or overlooking. The dwellings themselves would provide for suitable living space with sufficient associated external private amenity space. Planning permission would not grant rights to carry out works, access or use land not within the applicants control or obstruct or block access and legal rights of way.

### 5.12 Transportation/PROW

It is noted that the previous application was refused, however this was not on the basis of highways grounds. The current proposals are considered to be similar in highways terms. Given the very limited vehicular use of the private access road it is considered that the site access, layout and parking provision are all acceptable and will provide suitable access and parking arrangements, in accordance with the Councils adopted parking requirements. Again, planning permission would not grant rights to carry out works, access or use land not within the applicants control or obstruct or block access and legal rights of way

or the adjacent footpath. On this basis, there are no objections to the proposals from the Council's Highways Officer. The proximity to the public footpath is noted. There are no public rights of way objections in principle to this application. A informative is recommended to make the developer aware of the limitations, particularly with regards to not obstructing the path during works and ensuring the safety of the public using the path. Conditions are also recommended to secure the parking provision illustrated.

#### 5.13 Drainage

There are no objections on drainage grounds in principle. Additional drainage details, incorporating sustainable drainage systems, are required to clarify in more detail the precise drainage layout. It is considered that this requirement can reasonably be conditioned and will also be addressed in more detail at building control stage.

#### 5.14 Equalities

The Equality Act 2010 legally protects people from discrimination in the workplace and in wider society; it sets out the different ways in which it is unlawful to treat someone. As a result of this Act the public sector equality duty came into force. Among other things those subject to the equality duty must have due regard to: eliminate unlawful discrimination, harassment and victimisation; advance equality of opportunity and foster good relations between people who share a protected characteristic and those who do not. The general equality duty therefore requires organisations to consider how they could positively contribute to the advancement of equality and good relations. It requires equality considerations to be reflected into the design of policies and the delivery of services.

With regards to the above this planning application is considered to have a neutral impact on equality.

## 6. CONCLUSION

- 6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.
- 6.2 The recommendation to grant permission has been taken having regard to the policies set out above, and to all the relevant material considerations set out in the report.

## 7. RECOMMENDATION

- 7.1 That planning permission is granted, subject to the conditions recommended.

## CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

To comply with the requirements of Section 91 of the Town & Country Planning Act 1990 (as amended).

2. The development/works hereby permitted shall only be implemented in accordance with the plans as set out in the plans list below:  
Location Plan (1001) and Existing Block Plan (3006) and Arboricultural Assessment, received by the Council on the Council on the 1st April 2021 and Revised Design and Access Statement and Proposed Plans and Elevations (Refs 3001A, 3002A, 3003A, 3004A, 3005A and 3007A), and Ecological Assessment received by the Council on the 20th May 2021.

Reason:

To define the terms and extent of the permission.

3. Prior to occupation of dwellings hereby approved, two parking spaces for each house, as illustrated on the approved plans, shall be provided on site and subsequently retained thereafter.

Reason

To ensure the satisfactory provision of parking facilities and in the interest of highway safety and the amenity of the area, and to accord with Policy CS8 of the South Gloucestershire Local Plan; Core Strategy (Adopted) December 2013; and the South Gloucestershire Residential Parking Standards SPD (Adopted) December 2013.

4. Prior to occupation of dwellings hereby approved, a vehicular electrical charging point for each new dwelling shall be provided and subsequently retained thereafter.

Reason

To encourage more sustainable forms of transportation, to accord with Policy CS8 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013.

5. The development shall proceed in strict accordance with the Mitigation Measures provided in the Ecological Appraisal (Seasons Ecology, May 2021) has been submitted , this includes but not limited to supervised works and sensitive timing of works.

Reason

In the interests of the ecology of the site, and to accord with Policy CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework.

6. Prior to commencement, a "lighting design strategy for biodiversity" for the boundary features and any native planting shall be submitted to and approved in writing by the local planning authority. The strategy shall:
  - Identify those areas/features on site that are particularly sensitive for bats and that are likely to cause disturbance in or around their breeding sites and resting places or along important routes used to access key areas of their territory, for example, for foraging; and
  - Show how and where external lighting will be installed (through the provision of appropriate lighting contour plans and technical specifications) so that it can be

- clearly demonstrated that areas to be lit will not disturb or prevent the above species using their territory or having access to their breeding sites and resting places.
- All external lighting shall be installed in accordance with the specifications and locations set out in the strategy, and these shall be maintained thereafter in accordance with the strategy. Under no circumstances should any other external lighting be installed without prior consent from the local planning authority.

Reason

In the interests of the ecology of the site, and to accord with Policy CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework.

7. Prior to commencement of works hereby permitted evidence of ecological enhancements detailed within the ecological appraisal (Seasons Ecology, May 2021) are to be submitted to the local authority these include but not limited to refuge/hibernacula, soft landscaping, hedgehog holes, bat and bird boxes.

Reason

In the interests of the ecology of the site, and to accord with Policy CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework.

8. Due to the mobility of badgers, a pre-commencement check shall be undertaken immediately prior to works commencing to ensure they will not be impacted.

Reason

In the interests of the ecology of the site, and to accord with Policy CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework.

9. Sample panels of brickwork, demonstrating the colour, texture, facebond and pointing are to be erected on site and approved in writing by the Local Planning Authority before the relevant parts of the work are commenced. The approved sample panel shall be kept on site for reference until the brickwork is complete. Development shall be carried out in accordance with the agreed sample.

Reason

To maintain and enhance the character and setting of the listed and locally listed buildings and to ensure a satisfactory standard of external appearance and to accord with Policy CS1 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013; PSP17 of the South Gloucestershire Local Plan: Policies, Sites and Places Plan Adopted November 2017 and the National Planning Policy Framework.

10. A sample panel of the render indicating colour and texture, shall be erected on site and approved in writing by the Local Planning Authority before the relevant parts of the work are commenced. The approved sample panel shall be kept on site for reference until the development is complete. Development shall be carried out in accordance with the agreed sample.



## Reason

To maintain and enhance the character and setting of the listed and locally listed buildings and to ensure a satisfactory standard of external appearance and to accord with Policy CS1 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013; PSP17 of the South Gloucestershire Local Plan: Policies, Sites and Places Plan Adopted November 2017 and the National Planning Policy Framework.

11. Sample panels of any stonework, demonstrating the colour, texture and pointing are to be erected on site and approved in writing by the Local Planning Authority before the relevant parts of the work are commenced. The approved sample panel shall be kept on site for reference until the stonework is complete. Development shall be carried out in accordance with the agreed sample.

## Reason

To maintain and enhance the character and setting of the listed and locally listed buildings and to ensure a satisfactory standard of external appearance and to accord with Policy CS1 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013; PSP17 of the South Gloucestershire Local Plan: Policies, Sites and Places Plan Adopted November 2017 and the National Planning Policy Framework.

12. A sample of the tiles, indicating colour and texture, shall be erected on site and approved in writing by the Local Planning Authority before the relevant parts of the work are commenced. The approved sample panel shall be kept on site for reference until the development is complete. Development shall be carried out in accordance with the agreed sample.

## Reason

To maintain and enhance the character and setting of the listed and locally listed buildings and to ensure a satisfactory standard of external appearance and to accord with Policy CS1 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013; PSP17 of the South Gloucestershire Local Plan: Policies, Sites and Places Plan Adopted November 2017 and the National Planning Policy Framework.

13. Prior to the commencement of development drainage detail proposals incorporating Sustainable Drainage Systems SUDS shall be submitted for approval in writing to the Local Planning Authority. Development shall be carried out in accordance with the approved details.

## Reason:

To comply with South Gloucestershire Local Plan: Policies, Sites and Plans Plan (Adopted) November 2017 Policy PSP20; South Gloucestershire Local Plan: South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 Policy CS1 and Policy CS9; and National Planning Policy Framework 2012.

14. All works shall be carried out in strict accordance with the submitted Arboricultural report and BS:5837:2012.

Reason:

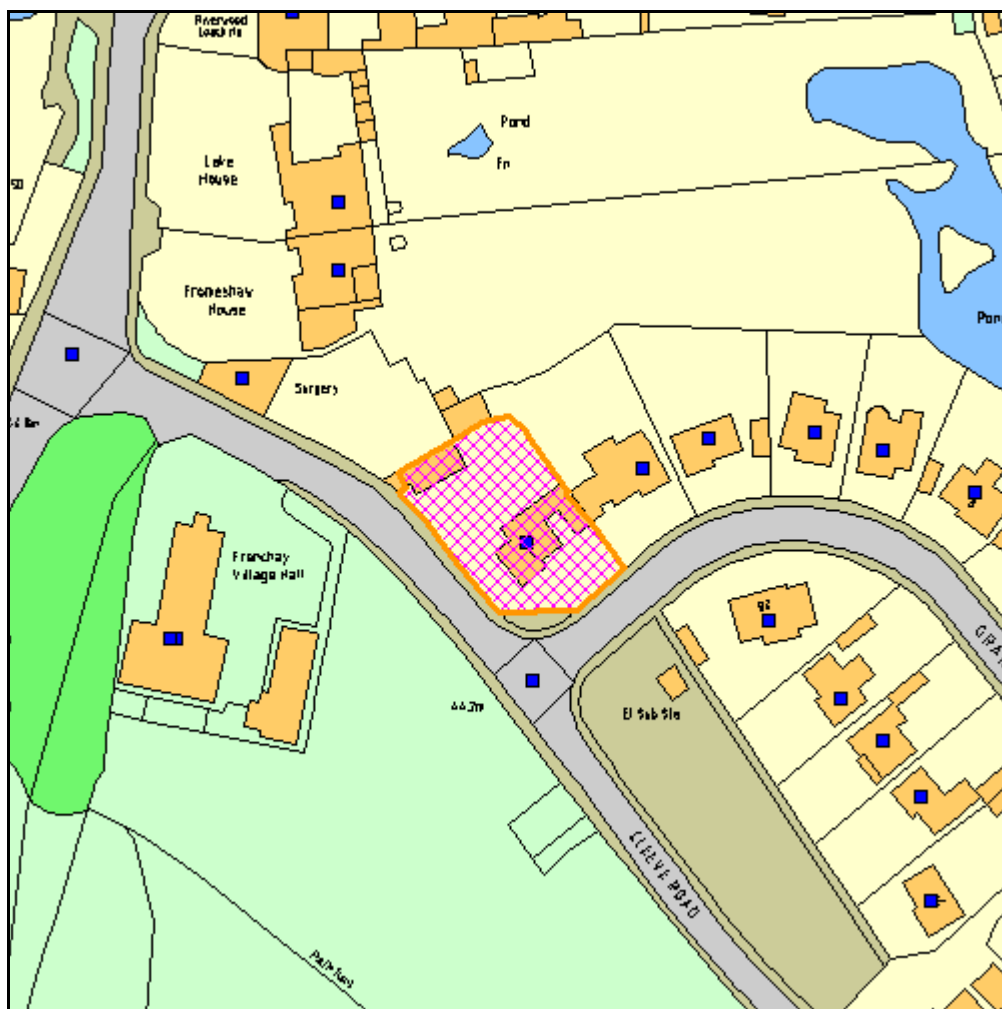
In the interests of the protection of the trees, and to accord with Policy CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework.

**Case Officer: Simon Ford**

**Authorising Officer: Marie Bath**

**CIRCULATED SCHEDULE NO. 26/21 -2nd July 2021**

<b>App No.:</b>	P21/02714/F	<b>Applicant:</b>	Rhys Harrison
<b>Site:</b>	1 Grange Park Frenchay South Gloucestershire BS16 2SZ	<b>Date Reg:</b>	22nd April 2021
<b>Proposal:</b>	Alterations to existing coach house to facilitate change to an ancillary annexe to the main dwelling.	<b>Parish:</b>	Winterbourne Parish Council
<b>Map Ref:</b>	364231 177911	<b>Ward:</b>	Frenchay And Downend
<b>Application Category:</b>	Householder	<b>Target Date:</b>	10th June 2021



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P21/02714/F

South Gloucestershire Councillors have five working days from date of publication to consider whether items appearing on the Circulated Schedule should be referred to the Development Management or Strategic Sites Delivery Committees for determination.

### **Reason for Referral to the Circulated Schedule**

This application appears on the Circulated Schedule due to the receipt of objection comments raised by the Parish Council, contrary to the officer recommendation.

## **1. THE PROPOSAL**

- 1.1 This application seeks full planning permission for alterations to existing coach house to facilitate change to annexe ancillary to the main dwelling at 1 Grange Park, Frenchay.
- 1.2 The applicant site comprises a large end plot with the property itself forming a two-storey detached property. The dwellinghouse appears to benefit from off street parking and a rear garden, providing the residents with ample amenity space. However, it is recognised the site boundary is located immediately adjacent to the Frenchay Conservation Area.

## **2. POLICY CONTEXT**

- 2.1 National Guidance  
National Planning Policy Framework  
National Planning Policy Guidance

- 2.2 Development Plans

South Gloucestershire Local Plan: Core Strategy (Adopted December 2013)

CS1	High Quality Design
CS4a	Presumption in Favour of Sustainable Development
CS5	Location of Development
CS8	Improving Accessibility
CS16	Housing Density
CS17	Housing Diversity

South Gloucestershire Local Plan: Policies, Sites and Places Plan (Adopted November 2017)

PSP1	Local Distinctiveness
PSP8	Residential Amenity
PSP11	Transport Impact Management
PSP16	Parking Standards
PSP17	Heritage Assets and the Historic Environment
PSP38	Development within Existing Residential Curtilages
PSP43	Private Amenity Space

- 2.3 Supplementary Planning Guidance  
South Gloucestershire Design Checklist (Adopted 2007)  
Residential Parking Standards SPS (Adopted 2013)  
SGC Householder Design Guide (Adopted March 2021)

### 3. **RELEVANT PLANNING HISTORY**

- 3.1 Ref: P21/00262/F. Approve with conditions, 15.02.2021  
Proposal: *Alteration to roofline to single storey rear extension and enlargement of one existing window.*
- 3.2 Ref: PT04/0689/F. Approve with conditions, 07.04.2004  
Proposal: *Erection of first floor rear extension over existing dining room to form bedroom.*
- 3.3 Ref: P90/2865. Approve full planning, 10.01.1991  
Proposal: *Erection of detached garage, store and covered access to house*
- 3.4 Ref: N6829. Approve with conditions, 14.08.1980  
Proposal: *Erection of single storey rear extension to provide additional accommodation.*

### 4. **CONSULTATION RESPONSES**

- 4.1 Winterbourne Parish Council  
The Parish council have objected to this application based on the following grounds:
- Concern regarding impact the proposed development may have on adjacent conservation area.
  - Potential for parking issues.
- 4.2 *[Officer Comment]* The above comment has been noted with further discussion regarding parking provision and heritage found in section 5 of this report.
- 4.3 Local Residents  
No comments received.

### 5. **ANALYSIS OF PROPOSAL**

- 5.1 Principle of Development  
Policy PSP38 permits extensions and alterations to existing dwellings within established residential curtilages subject to an assessment of design, amenity and transport; including the formation of a detached annex. Whilst the proposed alterations are acceptable in principle (and to be further examined against the analysis set out below), the proposed annex must be assessed for its function and relationship to the main dwellignhouse prior to being accepted in principle. This is to determine if the annex has some form of dependence on the main property, thus providing merit for it to be considered as ancillary accommodation, or, the proposal would create an annex that is tantamount to a new dwelling - each outcome requires a separate list of policies for a fair and appropriate assessment.

### ***Annex Test***

- 5.2 The proposed annex would consist of a two-storey self-contained detached structure with a separate kitchen and living area that includes 2.no bedrooms and 1.no shower room. It would be located approximately 11.3 meters from the existing dwelling.
- 5.3 Whilst concern is raised regarding the massing and scale of the proposed annex (and the resulting potential for the structure to function as a separate dwellinghouse) the case officer notes that residential use, by means of an office and games room, has already been established within the structure. Likewise, this outbuilding currently exists as a two-storey development within a defined plot, suggesting there would be limited external change to the outbuilding with a proposed use that is generally considered to fall within the existent class. Additionally, it is recognised there would be a shared use of outdoor amenity space and parking provision whereby occupiers of the annex would be dependent on the main dwelling for both uses. Therefore, it is judged there would be some form of functional relationship between the proposed annex and main dwellinghouse. However, the case officer notes the annex test has been accepted in this circumstance due to the unusual site arrangement and accessibility constraint (the annex would only be accessible through means of the host property) and as such, **any future application which seeks to gain sperate access should be refused**. This is to protect both the characteristics of the conservation area and maintain an acceptable level of highway safety (via the West boundary wall) whilst also ensuring dependence on the host property remains, permitting the annex to function for its intended use.
- 5.4 Design, Visual Amenity and Heritage  
Policies CS1, PSP38 and the SGC Householder Design Guide seek to ensure that development proposals are of the highest possible standards of design in which they respond to the context of their environment. This means that developments should demonstrate a clear understanding of both the site and local history to ensure the character, distinctiveness and amenity is well assessed and incorporated into design.
- 5.5 Further to this, PSP17 states development proposals should demonstrate that size, form, detailing and materials [of the proposal] have been taken in regard to the distinct character of the conservation area; and, any architectural features which contribute to the appearance of the conservation area must be retained and protected.
- 5.6 The proposed alterations to the existing outbuilding (which are all located on the Southeast elevation) include: 3no. roof lights; 1 set of French doors; enlargement of decked area.
- 5.7 Overall, it is considered the proposed works would be introduced to an enclosed area that would generally not be visible within the public, suggesting the impact of development and consequential harm to the conservation area would be negligible. Therefore, the proposal has an acceptable standard of design and complies with policies CS1, PSP17 and PSP38.

### 5.8 Residential Amenity

Policy PSP8 states development proposals are acceptable, provided they do not create unacceptable living conditions or result in unacceptable impacts on residential amenities. These are outlined as follows (but are not restricted to): loss of privacy and overlooking; overbearing and dominant impact; loss of light; noise or disturbance; and, odours, fumes or vibrations.

5.9 Due to the minor extent of development in which no changes would be made to the sitting or massing of existing outbuilding (which has already been established to benefit from residential use), it is judged the amenities of neighbouring residents would not be significantly affected as to create unacceptable living conditions. Therefore, the proposed development would comply with policy PSP8.

### 5.10 Transport

Policy PSP16 sets out the Council's criteria for parking specifications. It states that parking space provision per dwellinghouse is proportionate to bedroom number. For the purposes of clarity, the combination of annex with host property would constitute a requirement of 3no. parking spaces for the site. There has been no dedicated parking plan submitted as part of the evidence for this application, but the case officer notes aerial photography (and as confirmed with a site visit) reveals an area of hardstanding within the site boundary that measures at minimum, 7 meters by 4.4 meters (total area is approximately 30sqm+). Likewise, it is recognised the adjoining cul-de-sac provides adequate on-street parking that would not contribute to serve congestion nor give rise to strong highway safety concern. Therefore, the case officer raises no transport objection.

### 5.11 Private Amenity Standards

Policy PSP43 states that residential units, including those that are subject to development (and in this case includes the proposed annex), are expected to have access to private amenity space that is: functional and safe; of a sufficient size in relation to occupants; and, be easily accessible. Due to the scale of the annex as well as retaining access to a garden, the case officer is satisfied private amenity space standards would be acceptable and as such, the proposal would comply with PSP43.

### 5.12 Consideration of likely impact on Equalities

The Equality Act 2010 legally protects people from discrimination in the workplace and in wider society; it sets out the different ways in which it is unlawful to treat someone. As a result of this Act, the public sector equality duty came into force. Among other things, those subject to the equality duty must have due regard to: eliminate unlawful discrimination; harassment and victimisation; advance equality of opportunity; and, foster good relations between people who share a protected characteristic and those who do not. The general equality duty therefore requires organisations to consider how they could positively contribute to the advancement of equality and good relations. It requires equality considerations to be reflected into the design of policies and the delivery of services.

5.13 With regards to the above, this planning application is considered to have a neutral impact on equality.

## 6. CONCLUSION

6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.

6.2 The recommendation to **grant** permission has been taken having regard to the policies and proposals in the development plan set out above, and to all the relevant material considerations set out in the report.

## 7. RECOMMENDATION

7.1 That the application be **APPROVED** subject to conditions.

### CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

To comply with the requirements of Section 91 of the Town & Country Planning Act 1990 (as amended).

2. The annex hereby permitted shall not be occupied at any time other than for purposes ancillary to the residential use of the dwelling known as 1 Grange Park, Frenchay, South Gloucestershire, BS16 2SZ.

Reason: The development has been permitted on the particular circumstances of the case and the development would require further assessment to be used as a separate residential dwelling with regard to internal dimensions of the annex, amenity, access, and private amenity space, to accord with policies CS1 and CS8 of the South Gloucestershire Local Plan Core Strategy (Adopted) December 2013; policies PSP8, PSP16, PSP38, and PSP43 of the South Gloucestershire Local Plan Policies, Sites and Places Plan (Adopted) November 2017; and the NPPF.

3. The development/works hereby permitted shall only be implemented in accordance with the plans as set out in the plans list below (received on 15th April 2021):

Location Plan (LP)  
Block Plan Existing (SP)  
Block Plan Proposed (SPP)  
Existing Plans (01)  
Proposed Plans (101)

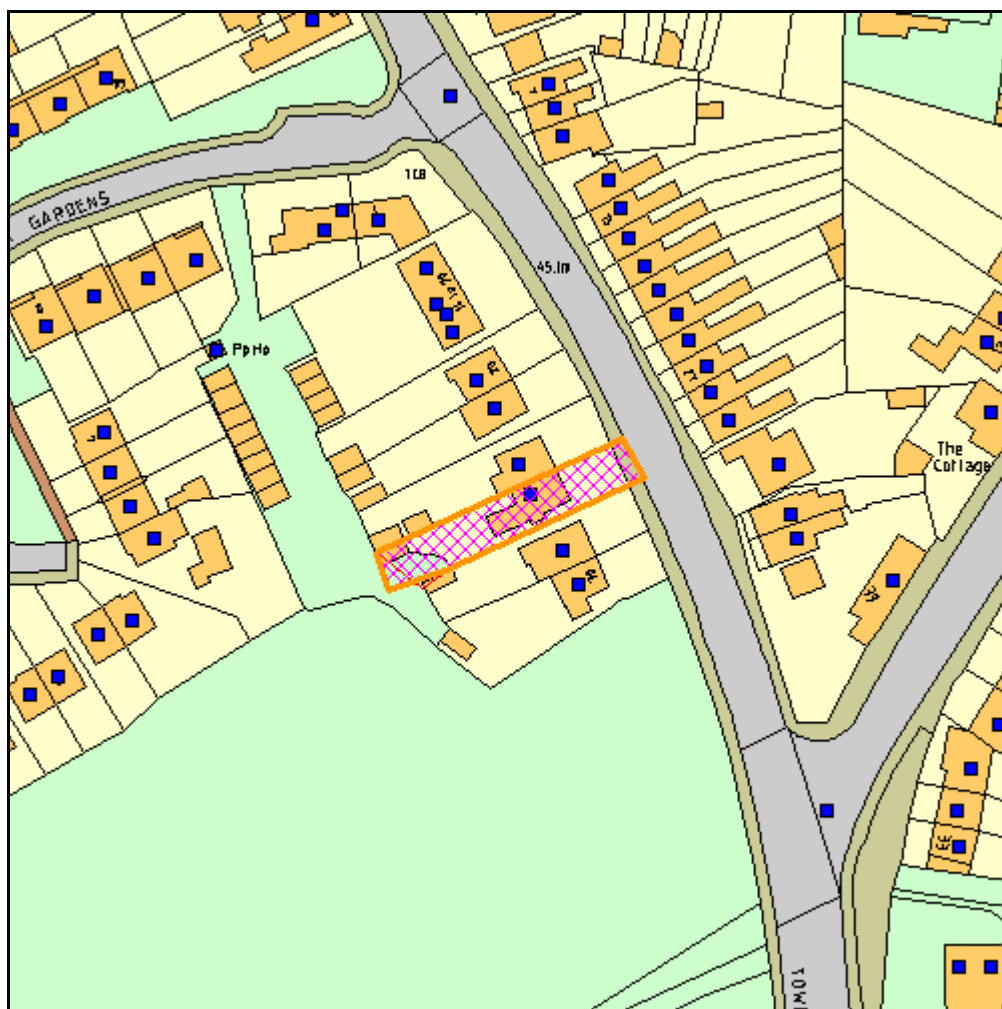
To define the terms and extent of the permission.



**Case Officer: Ben France**  
**Authorising Officer: David Stockdale**

**CIRCULATED SCHEDULE NO. 26/21 -2nd July 2021**

<b>App No.:</b>	P21/03030/F	<b>Applicant:</b>	Miss Rachel Hatcher
<b>Site:</b>	32 Tower Road North Warmley South Gloucestershire BS30 8YE	<b>Date Reg:</b>	6th May 2021
<b>Proposal:</b>	Creation of vehicular access onto classified highway (Class C).	<b>Parish:</b>	Siston Parish Council
<b>Map Ref:</b>	366951 173429	<b>Ward:</b>	Parkwall And Warmley
<b>Application Category:</b>	Householder	<b>Target Date:</b>	1st July 2021



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P21/03030/F

South Gloucestershire Councillors have five working days from date of publication to consider whether items appearing on the Circulated Schedule should be referred to the Development Management or Strategic Sites Delivery Committees for determination.

## **INTRODUCTION**

This application appears on the Circulated Schedule as a result of comments received, from the Parish Council, contrary to Officer recommendation.

## **1. THE PROPOSAL**

- 1.1 The application seeks consent for the creation of a vehicular access onto classified highway (Class C).
- 1.2 The application site is located at 32 Tower Road North Station Road, Warmley, a semi-detached residential property within the urban area.

## **2. POLICY CONTEXT**

- 2.1 National Guidance  
National Planning Policy Framework  
National Planning Policy Guidance

- 2.2 Development Plans

South Gloucestershire Local Plan Core Strategy Adopted December 2013  
CS1 High Quality Design  
CS8 Improving Accessibility

## **3. RELEVANT PLANNING HISTORY**

- 3.1 None relevant

## **4. CONSULTATION RESPONSES**

- 4.1 Siston Parish Council  
Siston Parish Council would like to strongly object to any vehicle access from this property onto the public highway. There are always vehicles parked opposite and the road becomes narrow at this point. You would have to back in or back out and with speeding traffic coming from the High Street, serious accidents would be inevitable. No other property on that side of the road has vehicle access directly onto Tower Road North, and if this application were permitted, I feel others homeowners would do likewise, this would multiply the problem. There is already Vehicle access to the rear of this property accessed from Crown Gardens therefore there is no need to support this application.

Sustainable Transportation  
No objections in principle

## **Other Representations**

- 4.2 Local Residents  
No comments received

## **5. ANALYSIS OF PROPOSAL**

### 5.1 Principle of Development Highways

The issue for consideration is that of whether the proposed access onto the highway is an acceptable development in its own right. The comments above are noted. The Council's Highways Officer has reviewed the proposals and the site. There is no objection in principal to this proposal as this site is situated in a built-up, residential area. Therefore, it is considered that it complies with the broad requirements/principles of Policy PSP11 of the adopted South Gloucestershire Local Plan: Polices, Sites and Places document.

- 5.2 However, Tower Road North is a classified road within the context of the Councils' road classification list hence, additional information and assessment is required particularly to review if any off-street turning can be created on site to ensure that vehicles can access and egress the site safely. In view of this therefore, further review and assessment to demonstrate that the visibility available from the proposed access broadly conforms to the requirements of the Design Manual for Roads and Bridges was undertaken.

- 5.2 A further plan has been received illustrating the extent of the paved area within the site for parking/manoeuvring. It was also confirmed that that the width of the footway was 2 metres, the existing wall will be removed and measurements for the proposed parking/manoeuvring are 9.9 metres by 7.8 metres. It is also noted that a further recent access has been approved 2 houses down, (planning ref P21/00984/F), although it must be acknowledged that each application must be judged on their own merits and individual circumstances.

- 5.3 Overall it is considered that acceptable visibility can be achieved from the proposed site access on to the main road and as such, it is not considered that a highway objection to this application on highway safety ground could be sustained and on this basis there are no objections. This consideration is subject to recommended conditions or informatives to secure and advise on the specific requirement associated with a new access onto the highway.

- 5.4 As with all works on or immediately adjacent to the public highway, these works must be approved by this Council before, during and after completion as appropriate. This also includes the installation of the proposed footway crossovers and drop kerbs.

### 5.5 Visual Amenity

Given the context of the site and its surroundings, and the nature of the proposals, it is not considered that the proposals would give rise to any material visual amenity impacts.

**6. CONCLUSION**

- 6.1 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine applications in accordance with the policies of the Development Plan, unless material considerations indicate otherwise.
- 6.2 The recommendation to grant permission has been taken having regard to the policies and proposals in the Local Plan set out above, and to all the relevant material considerations set out in the report.

**7. RECOMMENDATION**

- 7.1 That planning permission is granted, subject to conditions.

**CONDITIONS**

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

To comply with the requirements of Section 91 of the Town & Country Planning Act 1990 (as amended).

2. The development/works hereby permitted shall only be implemented in accordance with the plans as set out in the plans list below:  
Site Location Plan and Block Plan, received by the Council on the 6th May 2021 and Parking Area Plan received on the 20th June 2021.

Reason:

To define the terms and extent of the permission.

**Case Officer: Simon Ford**

**Authorising Officer: David Stockdale**